



Perth Local Development Assessment Panel Agenda

Meeting Date and Time: Monday, 3 April 2023; 9:30am
Meeting Number: PLDAP/124
Meeting Venue: City of Perth
Committee Room 1, Council House,
27 St Georges Terrace, Perth

This DAP meeting will be conducted by electronic means (Zoom) open to the public rather than requiring attendance in person.

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Attendance

DAP Members

Mr Jarrod Ross (A/Presiding Member)
Mr Paul Kotsoglo (A/Deputy Presiding Member)
Mr John Syme (A/Third Specialist Member)
Cr Catherine Lezer (Local Government Member, City of Perth)
Cr Liam Gobbert (Local Government Member, City of Perth)

Officers in attendance

Ms Julia Kingsbury (City of Perth)
Ms Jasmine Hancock (City of Perth)

Minute Secretary

Ms Anne-Marie Bartlett (City of Perth)

Applicants and Submitters

Mr Peter Simpson (PTS Town Planning)

Members of the Public / Media

Nil.

1. Opening of Meeting, Welcome and Acknowledgement

The A/Presiding Member declares the meeting open and acknowledges the traditional owners and pay respects to Elders past and present of the land on which the meeting is being held.

This meeting is being conducted by electronic means (Zoom) open to the public. Members are reminded to announce their name and title prior to speaking.

2. Apologies

Mr Ray Haeren (Presiding Member)
Ms Diana Goldswain (Third Specialist Member)
Cr Viktor Ko (Local Government Member, City of Perth)

3. Members on Leave of Absence

DAP Member, Ms Diana Goldswain has been granted leave of absence by the Director General for the period of 30 March 2023 to 21 April 2023 inclusive.

4. Noting of Minutes

Signed minutes of previous meetings are available on the [DAP website](#).

5. Declarations of Due Consideration

Any member who is not familiar with the substance of any report or other information provided for consideration at the DAP meeting must declare that fact before the meeting considers the matter.



6. Disclosure of Interests

Nil.

7. Deputations and Presentations

The City of Perth may be provided with the opportunity to respond to questions of the panel, as invited by the A/Presiding Member.

8. Form 1 – Responsible Authority Reports – DAP Applications

8.1 441 (Lots 50 and 123) Murray Street, Perth

Development Description:	Additions and alterations to an existing office building for the adaptive reuse as a secondary college ('Education 2') and school head offices ('Office')
Applicant:	PTS Town Planning Pty Ltd
Owner:	The Anglican Schools Commission Inc.
Responsible Authority:	City of Perth
DAP File No:	DAP/22/02374

9. Form 2 – Responsible Authority Reports – DAP Amendment or Cancellation of Approval

Nil.

10. State Administrative Tribunal Applications and Supreme Court Appeals

Nil.

11. General Business

In accordance with Section 7.3 of the DAP Standing Orders 2020 only the A/Presiding Member may publicly comment on the operations or determinations of a DAP and other DAP members should not be approached to make comment.

12. Meeting Closure

MURRAY STREET, 441 (LOTS 50 AND 123) PERTH – ADDITIONS AND ALTERATIONS TO AN EXISTING OFFICE BUILDING FOR THE ADAPTIVE REUSE AS A SECONDARY COLLEGE (‘EDUCATION 2’) AND SCHOOL HEAD OFFICES (‘OFFICE’)

Form 1 – Responsible Authority Report
(Regulation 12)

DAP Name:	City of Perth LDAP	
Local Government Area:	City of Perth	
Applicant:	PTS Town Planning Pty Ltd	
Owner:	The Anglican Schools Commission Inc.	
Value of Development:	\$53 million <input checked="" type="checkbox"/> Mandatory (Regulation 5) <input type="checkbox"/> Opt In (Regulation 6)	
Responsible Authority:	City of Perth	
Authorising Officer:	Dale Page, General Manager Planning and Economic Development	
LG Reference:	DAP-2022/5329	
DAP File No:	DAP/22/02374	
Application Received Date:	14/11/2022	
Report Due Date:	23/3/2023	
Application Statutory Process Timeframe:	90 days with an additional 28 days agreed	
Attachment(s):	1. Location Plan 2. Perspectives (3 March 2023) 3. Development plans (3 March 2023) 4. Landscape concept plan (7 March 2023) 5. Neighbour submission 6. Applicant address of State Planning Policy 7.0 Design of the Built Environment 7. Applicant address of Design Review Panel advice	
Is the Responsible Authority Recommendation the same as the Officer Recommendation?	<input type="checkbox"/> Yes	Complete Responsible Authority Recommendation section
	<input checked="" type="checkbox"/> N/A	
	<input type="checkbox"/> No	Complete Responsible Authority and Officer Recommendation sections

Responsible Authority Recommendation

That the City of Perth Local Development Assessment Panel resolves to:

- Approve** DAP Application reference DAP/22/02374 and accompanying perspectives (Attachment 2) and development plans (Attachment 3) in accordance with Clause 68 of Schedule 2 (Deemed Provisions) of the *Planning*

and Development (Local Planning Schemes) Regulations 2015, and the provisions of City Planning Scheme No. 2, subject to the following conditions:

Condition:

1. the development being constructed with high quality and durable materials and finishes and to a level of detailing that is consistent with the elevations and perspectives received on 3 March 2023, with particularly attention to the longevity of colour and materiality of the external 'red ribbon' stair on the front elevation and the finish of the eastern and western elevations, with final details of the design and a sample board of the materials, colours and finishes being submitted for approval by the City prior to applying for a building permit;
2. final details of the design of the recessed ground floor staff and student forecourt areas to provide a safe and attractive entrance; internal glazed classroom walls to ensure borrowed daylight access; netting to the roof terrace to contain balls to the outdoor play area; and the provision of electric scooter charging bays within the basement, being submitted for approval by the City prior to applying for a building permit;
3. a final ESD report maximising opportunities for sustainability initiatives, such as façade/roof mounted solar panels as well as mixed mode natural ventilation, being submitted for approval by the City prior to applying for a building permit;
4. any proposed building plant and services including air-conditioning condensers, lift overruns, piping, ducting, water tanks, transformers, fire boosters and fire control rooms being located or screened so that they cannot be viewed from any location external to the building (including from above) and to minimise any visual and noise impact. This includes any such plant or services located within the vehicle entrance of the development, with details of the location and screening of such plant and services being submitted for approval by the City prior to applying for a building permit;
5. a final landscaping and reticulation plan, including details of structures/fixtures that provide shade and privacy to the level 2 terrace and landscaping to the student forecourt and vehicle entrance, with details being submitted for approval by the City prior to applying for a building permit. The approved landscaping is to be installed prior to occupation of development and thereafter maintained to a high standard to the City's satisfaction;
6. a final noise impact and management report that meets the City's noise impact and management report guidance note and addresses the recommendations outlined in the preliminary Acoustic Report prepared by Marshall Day Acoustics dated 12 October 2022 regarding the noise amelioration construction specifications and other noise management measures, being submitted to the City prior to applying for a building permit, with final construction plans being certified by a qualified acoustic consultant confirming the development incorporates the recommendations and can achieve compliance with the relevant noise legislation to the satisfaction of the City prior to the commencement of construction;

7. all signage for the development being integrated with the design of the building with details of any signage that is not exempt from approval under the City's Signs Policy 4.6, being subject to a separate application for approval;
8. the dimensions of all car parking bays, vehicle entrance and aisle widths and circulation areas complying with the Australian Standard AS2890.1;
9. final details of the vehicle entrance, including retention of the existing speed bump and introduction of to ensure the safety of pedestrians using the adjacent footpath, being submitted to the City for approval prior to applying for a building permit;
10. a maximum of nine (9) commercial tenant car parking bays and one (1) universal access bay being provided on site for the exclusive use of staff and visitors to the school and not being leased or otherwise reserved for use of the tenants, occupants or visitors of other buildings or sites;
11. a minimum of fifteen (15) bicycle parking bays being provided on site for the use of staff, visitors and students of the school;
12. a Transport and Traffic Management Plan, confirming the arrangement for school drop offs and pick ups and bus parking, being submitted to the City for approval prior to applying for a building permit;
13. on-site stormwater disposal/management being to the City's specifications with details being submitted for approval by the City prior to applying for a building permit;
14. the approved Waste Management Plan prepared by Talis Consultants dated 7 February 2023 being implemented by the owner/proprietor on an ongoing basis to the satisfaction of the City;
15. the proposed floor levels of the pedestrian and vehicle entrances to the building being designed to match the current levels of the immediately adjacent footpath, to the satisfaction of the City;
16. any works external to the property boundaries of the site, including the light projections onto the adjacent property at 451 Murray Street, not being approved as part of this development and being subject to a separate application(s) for approval;
17. the existing street trees located in the adjacent Murray Street road reserve being retained and protected from damage throughout any demolition and/or construction works with tree protection zones being established and maintained during the demolition and/or construction periods in accordance with the Australian Standard S4970-2009 - Protection of Trees on Development Sites, to the satisfaction of the City, with the owner/applicant being liable for any damage or removal of the trees; and
18. a Staging Plan for the proposed development, which sets out the conditions of approval to be cleared at each stage of the proposed works, being submitted to the City for approval prior to applying for a building permit; and

19. demolition and/or construction management plans for the proposal prepared in accordance with the City's pro-forma and requirements being submitted for approval by the City prior to applying for a demolition permit and/or a building permit.

Advice Notes

1. This decision constitutes planning approval only and is valid for a period of four (4) years from the date of approval. If the subject development is not substantially commenced within the specified period, the approval shall lapse and be of no further effect.
2. The final plans and details submitted to the City of Perth to satisfy the conditions of this approval will be verified by the City Architect and Alliance Manager of Development Approvals. Any substantive changes to the approved plans will need to be made via a Form 2 process.

Details:

Region Scheme	Metropolitan Region Scheme
Region Scheme - Zone/Reserve	Central City Area
Local Planning Scheme	City Planning Scheme No. 2
Local Planning Scheme - Zone/Reserve	City Centre
Structure Plan/Precinct Plan	Citiplace Precinct 5
Structure Plan/Precinct Plan - Land Use Designation	N/A
Use Class and permissibility:	Education 2 and Office – Contemplated ('C')
Lot Size:	1758m ²
Existing Land Use:	Office
State Heritage Register	No
Local Heritage	<input checked="" type="checkbox"/> N/A <input type="checkbox"/> Heritage List <input type="checkbox"/> Heritage Area
Design Review	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> Local Design Review Panel <input type="checkbox"/> State Design Review Panel <input type="checkbox"/> Other
Bushfire Prone Area	No
Swan River Trust Area	No

Proposal:

Proposed Land Use	Secondary College ('Education 2') and office space ('Office')
Proposed Plot Ratio Area	7,274m ²
Proposed No. Levels	13

Approval is sought for additions and alterations to an existing office building for its adaptive reuse as a secondary college ('Education 2') for St Georges Anglican Grammar School. The building will also be occupied by the head office of the Anglican Schools Commission (ASC) and Anglican Schools Commission International (ASCI) ('Office').

The applicant advises that the development will be undertaken in two stages with the first stage being for the adaptive reuse of the existing office building as a secondary college and head office for the (ASC) and (ASCI).

The second stage will involve a six-level addition to the existing building to incorporate additional teaching and office facilities including a full-size basketball court and roof level play and fitness centre for students.

Specific details of the proposed development which form part of Stage 1 works are as follows:

Basement	This level will contain nine commercial tenant car parking bays and one universal access bay, server room, maintenance workshop, staff bicycle parking and end of trip facilities, woodwork and mechatronics teaching rooms/facilities, building plant and services.
Ground	This level contains two separate entrances and lobbies for ASC and SGAGS, student/bicycle parking, student reception, back of house offices, new lift, toilet facilities, library, student services and substation and switch room. The building is proposed to be extended towards Murray Street at this level.
Level 1	This level contains the music and food tech teaching rooms/facilities, staff offices, toilets, pant. The building is proposed to be extended over the driveway at this level.
Level 2	This level contains the landscaped terrace area, student canteen and dining room and associated equipment and cool rooms (not operational during stage 1), toilet facilities and plant room.
Levels 3-5	Each level comprises of student teaching areas, staff room, meeting rooms, toilet facilities and plant rooms.
Levels 6-7	These levels contain ASC offices, meeting rooms, staff toilet and kitchen facilities and plant rooms.

The second stage will involve modifying the layout of levels six and seven and a five-level with roof terrace addition to the existing building. No changes are proposed to the stage 1 works at the basement to fifth floor level. The following table outlines the main changes and scope of works proposed as part of the stage two works.

Levels 6-9	Each level contains student teaching areas, staff offices, toilet facilities and plant room.
Levels 10-11	The ASC offices, meeting rooms, and associated toilets and staff kitchen/lunchroom areas will be relocated to these levels.

Level 12	This level will contain the sports courts, spectator seating area and male and female change and toilet facilities.
Roof Terrace	This level will contain the student fitness centre and recreation area, and the male and female change and toilet facilities.

In support of the proposal, the applicant advises that:

“This development hopes to be a showcase for vertical schooling and a beacon for sustainable design through a positive adaptive re-use of existing building and vertical expansion to reflect growing needs of the community.

The central theme - 'the city is our campus' is at the heart of this project and we hope that it will be a leader in vertical school design for Perth. This concept provides students with authentic real world learning opportunities and a culture that truly connects with the city and in addition will bring new life to this end of the city in a positive and mutual beneficial way.

The re-use and upgrading of the existing, slightly tired office building is a very good sustainability story and a good way of displaying different and unanticipated community activity in the CBD.”

Background:

The subject site is located on the southern side of Murray Street with a total site area of 1,758m². The site contains an existing nine-level office building including a basement car park level with vehicular access via Murray Street.

The building will be occupied by the St George’s Anglican Grammar School which will be relocating from its existing campus at 50 William Street, Perth. This school currently caters for students from years 7 to 12 with approximately 450 students and 54 staff. The new premises will allow the school to increase its student numbers up to 600 by 2025 and 800 by 2032.

The Anglican Schools Commission provides an administrative function for 15 schools across Western Australia, Victoria and New South Wales. It proposes to relocate from its current head office in Mount Claremont into the proposed refurbished building. The Anglican Schools Commission International supports its international students. It will also be relocating from its current office at 10 William Street, Perth into the new premises on Murray Street.

Legislation and Policy:

Legislation

Planning and Development Act 2005 s.162

Metropolitan Region Scheme (MRS)

City Planning Scheme No. 2 (CPS2) Clauses 6, 18, 26, 27, 33, 36 and 37

Citiplace Precinct Plan (P5)

Planning and Development (Local Planning Scheme) Regulations 2015 – Deemed Provisions for Local Planning Schemes Clauses 60, 64, 66, 67 and 68

State Government Policies

Perth Parking Policy 2014 (PPP)
State Planning Policy 7.0 – Design of the Built Environment

Local Policies

City Development Design Guidelines (4.1)
Building Heights and Setbacks (4.4)
Plot Ratio (4.5)
Signs (4.6)
Parking Policy (5.1)
Loading and Unloading (5.2)
Bicycle Parking and End of Journey Facilities (5.3)

Consultation:

Public Consultation

The proposed development includes variations to the side setback requirements (east and west) of local planning policy 4.4 – Building Heights and Setbacks of City Planning Scheme No.2 (CPS2). As such, the application was advertised to the surrounding properties for a period of 21 days, closing on 22 December 2022.

One submission was received from the operator of Quest Apartments directly west of the subject site at 451 Murray Street, Perth. These comments are included in Attachment 5.

Several concerns were raised by Quest Apartments in relation to noise and parking and traffic concerns associated with the proposed secondary college and the impact on its guests.

These concerns will be discussed in further detail under the noise and amenity section of this report.

Design Review Panel Advice

At its meeting held on 9 February 2023 the City of Perth's Design Review Panel (DRP) having considered the design of the proposed additions and alterations to the existing building for use as a secondary college ('Education 2') and head offices for the ASC and ASCI ('Office') advises that the Panel: -

1. *"Generally SUPPORTS the proposal noting the following strengths of the proposed design:*
 - a) *A valuable benchmark example for the adaptive reuse of an aging and vacant low grade commercial office building.*
 - b) *A diverse and innovative range of educational and administrative head office uses within a city context, providing important benefit and amenity to the local and broader resident and working community, whilst injecting valuable activity into the west end of the CBD.*
 - c) *A revised, augmented and improved ground floor and podium streetscape presentation providing optimal passive surveillance and interaction with the public domain.*

- d) *Highly visible and connected vertical stair circulation zone expressive of the building function and the vertical nature of the school activities.*
 - e) *Generous provision of outdoor terrace, recreation and play areas supported by a well considered universal access strategy.*
2. NOTES that although the Panel understands that existing structure has been taken through to the proposed addition, however the nil setback to the upper levels may constrain the adjoining properties to the west if and when they develop.
3. REQUEST the proponent:
- a) *Appoint an ESD professional to develop a comprehensive, coherent and coordinated narrative which maximises the opportunity for this development to be an exemplar for sustainable design. The proponent is encouraged to explore opportunities for roof/façade mounted solar panels and mixed mode natural ventilation amongst other ESD initiatives.*
 - b) *Appoint a landscape professional to develop a landscape narrative that maximises the opportunity to create a unique landscape solution that responds to the educational use.*
 - c) *Review the design of the external stair to create opportunities for students to pause and interact with each other.*
 - d) *Consider an opportunity to animate the external stair or introduce a statement feature to the façade in a way that contributes to the public realm.*
 - e) *Consider opportunities to introduce weather protection and screening to the outdoor terraces to enhance their usability all year round and provide privacy for students.*
 - f) *Review the materials and finishes of the development, specifically the external stair to ensure the finish is high quality and durable to avoid facing in the north sun over time.*
 - g) *Review the elements of the design that a conservative privacy, security or safety response, is considered more suitable including:*
 - *The recessed ground level entries at Murray Street*
 - *The containment of the roof top active ball sports zone;*
 - *The external stair including balustrade heights; and*
 - *Sightlines to all student/staff amenities including bathrooms;*
 - h) *Consider the addition of floor voids within the existing structure and proposed tower that might facilitate natural light into the deeper areas of the floor plate.*
 - i) *Consider increasing the provision of bicycle and e-scooter parking facilities noting cycling infrastructure throughout the City will continue to improve.”*

The applicant subsequently met with City officers and submitted revised plans and details to address the above points. The following sections include details of the extent to which the revised development plans respond to the design matters raised by the DRP.

Planning Assessment:

Land Use

The subject site is located in the City Centre Use Area of the Citiplace Precinct (P5) of City Planning Scheme No.2 (CPS2). The Citiplace Precinct will be enhanced as the retail focus of the State providing a range of retail and related services more extensive than elsewhere in the metropolitan region. The Precinct will offer a wide range of general and specialised retail uses as well as a mix of other uses such as residential

and visitor accommodation, entertainment, commercial, medical, service industry and office.

The application proposes to adapt the building for use as a secondary college ('Education 2') for St Georges Anglican College and head offices for the ASCI ('Office'). Both uses are contemplated ('C') uses in the City Centre Use Area of the Citiplace Precinct 5 under CPS2.

The proposed use of the building as a secondary college ('Education 2') with associated 'Office' use is considered consistent with the mixed-use character of the Citiplace Precinct. It will also contribute to local day time activity and enhance the vibrancy of the area, particularly at the western end of Murray Street.

Draft Local Planning Strategy

The site is located within the future 'Central Perth Neighbourhood' under the City's Draft Local Planning Strategy, adopted by Council in December 2022 and currently awaiting approval by the WAPC.

This future 'Central Perth Neighbourhood' will continue to support the capital city commercial, retail, entertainment, cultural and civic functions of Central Perth and increase the residential population to encourage a stronger weekend and night-time economy.

Murray Street in particular will feature traditional fine grain development with buildings extending to the footpath, comprising of narrow tenancies of two to three storey facades and with transparent shopfronts, frequent entries and provision of awnings over the street.

The proposed use of the site as a secondary college and office is consistent with the commercial and civic intent of the 'Central Perth Neighbourhood' of the City's draft Local Planning Strategy.

Development Requirements

New developments within the Citiplace Precinct will have a nil street setback and be of a low scale along the street frontage with any additional building heights being setback from all lot boundaries. Building heights should be tailored to ensure adequate levels of sunlight penetration into key pedestrian areas and public spaces. New development shall also have regard to the height and scale of buildings within the street. Building facades will incorporate interesting architectural elements thereby contributing to a lively, colourful and stimulating environment.

The proposals compliance with the development standards of CPS2 is outlined below (Note: figures and description in **bold** signify non-compliance with the development standards):-:

Provision	Requirement	Proposal	Assessment
Maximum Plot Ratio:	5:1 (8,790m ²)	4.13:1 (7,267m ²)	Complies
Maximum Street (Podium) Building Height:			

Provision	Requirement	Proposal	Assessment
Murray Street	14 metres	11 metres	Complies
Maximum Building Height:	Additional height above the Street Building Height within a 45° degree height plane measured from the street to the south	56 metres with all building/structure contained within the height plane	Complies
Setbacks:			
<u>Murray Street (north)</u>			
- Lower building levels	Nil up to 14 metres	Nil	Complies
- Upper building levels	5 metre setback up to a height of 65 metres and then a 10 metre setback up to the maximum building height limit	11 metres	Complies
<u>Side (east)</u>			
- Lower building levels	Nil (no openings); 3 metres (with openings)	Nil (no openings)	Complies
- Upper building levels	3 metres (commercial uses) and within the prescribed 45° degree height plane	Nil to 3.8 metres	Variation sought
<u>Side (west)</u>			
- Lower building levels	Nil (no openings) 3 metres (with openings)	Nil (no openings)	Complies
- Upper building levels	3 metres (commercial uses) and within the prescribed 45° degree height plane	Nil to 5.2 metres	Variation sought

Provision	Requirement	Proposal	Assessment
<u>Rear (south)</u> - Lower building levels - Upper building levels	Nil (no openings) 3 metres (with openings) 3 metres (commercial uses) and within the prescribed 45° degree height plane	2.8 metres (with openings) - basement level only to 9.9 metres (no openings) 6.3 metres (with openings)	Variation sought Complies
Car Parking:			
Commercial tenant	18 bays (maximum)	9 bays	Complies
Bicycle Parking:			
Commercial	15 bays (minimum)	15 bays	Complies

A variation to the side/rear setback provisions applicable to the development can be granted by an absolute majority decision of the Council, in accordance with Clause 36 of CPS2 and provided the Council is satisfied that:

- “36(3)(c)(i) if approval were to be granted, the development would be consistent with:*
- (A) the orderly and proper planning of the locality;*
 - (B) the conservation of the amenities of the locality; and*
 - (C) the statement of intent set out in the relevant precinct plan; and*
- (ii) the non-compliance would not have any undue adverse effect on:*
- (A) the occupiers or users of the development;*
 - (B) the property in, or the inhabitants of, the locality; or*
 - (C) the likely future development of the locality.”*

Building Design and Presentation to the Street

State Planning Policy 7.0 - Design of the Built Environment (SPP 7.0) addresses design quality and built form outcomes seeking to deliver the broad economic, environmental, social and cultural benefits that derive from good design outcomes. SPP 7.0 sets out the objectives, measures, principles and processes which apply to the design and assessment of built environment proposals through the planning system.

It is considered that the applicant has provided sufficient justification to demonstrate the proposed development satisfies the ten design principles of SPP 7.0 (Attachment 6 – Applicant Address of State Planning Policy 7.0).

The City's Design Review Panel (DRP) commended the applicant for its reuse of a low-grade commercial building within the city centre. The DRP also acknowledged the strengths of the design response such as its highly visible and connected vertical stair and the generous provision of outdoor terrace, recreation and play areas supported by a well-considered universal access strategy.

The applicant has also provided a detailed response to the advice of the City's DRP which will be discussed below (refer Attachment 7 – Applicant Address of Design Review Panel Advice).

The City's DRP requested the applicant appoint an Environmentally Sustainable Design (ESD) consultant to maximise opportunities for the development to be an exemplar for sustainable design. This would involve exploring opportunities for façade/roof mounted solar panels as well as mixed mode natural ventilation throughout the building.

The applicant has confirmed that an ESD consultant has been appointed and is currently undertaking a full review of the sustainability aspects of the design. This can also be required as a condition of any approval.

In relation to it being an exemplar of sustainable design the applicant has reiterated the adaptive reuse of the building which will result in significant savings of embodied carbon when compared to the construction of a new building. The applicant has also confirmed that opportunities for mixed mode ventilation, as suggested by the DRP, can be achieved in parts of the building whilst still retaining the current façade and meeting the Building Code requirements.

With respect to the proposed landscaping works, the DRP recommended appointing a landscape professional to develop a unique landscape solution that responds to the educational use. In response to this advice, the applicant has confirmed that a Landscape Architect has been appointed to further develop the landscape design. A landscape concept plan has also been provided to outline the design principles and examples of hard and soft landscaping elements that may be integrated into the design (Attachment 4- Landscape Concept Plan).

The landscape design is intended to complement the architectural form, materials and colours of the building. Natural materials sourced from Western Australia will be used with warm tones with pops of colour to create an inviting space for students and with lush plantings to soften the exterior façade.

The DRP has suggested further weather protection and screening be incorporated into the outdoor terrace amenity areas to improve their usability and privacy for students. The applicant advises that this will form part of the detailed landscape design which will be undertaken in consultation with the school board, students, landscape architect and architect.

Whilst the landscape concept plan design is supported in principle, a detailed landscaping and reticulation plan, including the incorporation of weather protection and further privacy measures to the outdoor terraces, should be submitted for approval by the City. This can be required as a condition of any approval prior to the occupation of the building

Several recommendations were made by the DRP in relation to the design of the external 'red ribbon' stair fronting Murray Street.

One recommendation was for the stairway to be designed to create opportunities for students to pause and interact with each other. In response to this advice the applicant has confirmed that the stair and its landings have been deliberately designed to be oversized (stairwell 1.75 metres in width with mid-landings 2 metres in width) to allow students to pause for casual interactions and space for students to pass by. In addition, other opportunities exist for interaction in the extended landings and terraces including the level 3 stair landing which is oriented north to allow for interaction with the large terrace at level 2 below.

In terms of safety the DRP has requested further details on the design and balustrade heights of the external stair. The applicant has confirmed that the height of the external stair is 1250mm which is above the minimum National Construction Code requirement. The stair will also be fully enclosed using Ronstan mesh as a further safety element above level 3. In addition, the external stair terraces have a balustrade behind the perforated aluminium mesh to a height of 1450mm.

The DRP also suggested the applicant investigate opportunities to animate the external stair or introduce a statement feature to the façade to contribute to the public realm. In response the applicant has advised that the weaved design and red colour of the external stair will result in a ribbon like effect which will help articulate and create a bold statement to the front facade. The location of the stair which will front onto Murray Street and its open-air design will also showcase the student activity occurring at the campus and allow for a significantly improved interaction of the building with the street.

In addition, the applicant advises that the upper level eastern and western façade additions will be designed using precast ribbon concrete and smooth concrete panels above, in keeping with the existing architectural expression of the building. The northern (front) façade will be articulated using profiled perforated aluminium screens with the opportunity to illuminate the top portion of the external façade to the gymnasium and roof terrace as a dynamic feature of the building. The school is also intending to utilise the blank eastern wall of the adjoining property at 541 Murray Street for light projections from the level 2 terrace. This will be used primarily for school functions and activities which will further activate and contribute to the public realm on Murray Street. Whilst the City supports this initiative, the wall is located outside of the application site and therefore a separate approval and/or agreement with the neighbouring property may be required.

With respect to the internal design the DRP has requested the applicant investigate opportunities for floor voids within the existing structure to facilitate natural light into deeper areas of the floor plate. The applicant advises that the use of floor voids was considered at the concept design stage. Due to the structural limitations of the building and the large amount of floor space that would be needed to create a meaningful impact and consequential loss of usable space for the school, this design solution was not considered feasible.

The applicant advises that the alternative design solution to maximise light into the centre of the floor plates is achieved by borrowing light through full height glass walls to the classrooms and highlight windows around the floor plate perimeter. The floor plates have been designed using extra wide central corridor and breakout spaces to allow light to come through the centre of the teaching floors. The internal design also

positions storerooms, ablution facilities, utilities and staff facilities in the centre of the floor plate which are generally used for shorter periods of time and not as impacted by the need for natural light.

With respect to security and safety the DRP has advised that the design of the recessed ground level entries at Murray Street be reviewed. In response to this request the applicant the applicant has advised that a ground floor forecourt area is required as a gathering space for students arriving and leaving school and ensuring they do not obstruct the adjacent footpath. To avoid any security concerns after hours the applicant has advised that the recessed area enclosed with gates and vertical stainless steel cable fencing which have been brought forward to the street. The adjacent narrow recessed area will be landscaped to enhance the visual appearance of the building to the street.

In terms of the adjacent ASC forecourt the applicant advises that access from the existing fire egress stairs and pump room needs to be maintained or kept unobstructed. In addition, the exiting levels are at a 1:21 slope and therefore the alignment of these doors cannot be changed as it would not comply with the level access requirements under the National Construction Codes. A landscaping feature has however been incorporated adjacent to the vehicle entrance to improve the visual appearance of the ASC entrance to the street.

With respect to the public safety concerns, the DRP have recommended the containment of the roof top active ball sports zone to avoid any balls being accidentally thrown over the top of the building onto the adjacent footpath. The applicant advises that ball sports will generally occur in the gymnasium below however netting will also be installed at the level 13 roof terrace to help prevent any balls being thrown over the building edge from the active ball zone. Furthermore, the undercover structure within the centre of the Level 17 roof terrace will also assist in containing balls from the table tennis area.

In relation to internal privacy the DRP has recommended the review of sightlines to all student and staff facilities, in particular the bathrooms. To improve the level of privacy to the male and female bathrooms the doors have been flipped to minimise sight lines into the bathrooms whilst still providing sufficient space for circulation and compliance with the relevant Australian Standard. The sight lines to the ground floor toilets have been improved in the revised design by flipping the layout of the male facilities which are now accessed from an airlock and not from the core. It is noted that the layout for the toilet facilities on the other floors is restricted due to their location within the existing core with requirements for ambulant toilets, fire stairs and riser access preventing an airlock for additional privacy.

In terms of the provision of bicycle and e-scooter parking facilities the DRP have recommended additional bays be provided for the development noting that cycling infrastructure throughout the City will continue to improve. The proposed development incorporates 15 bicycle parking bays which complies with the minimum requirement under CPS2 (15 bays required).

The applicant advises that as the bicycle parking bays are used by staff rather than students, this allocation is considered sufficient. With respect to the provision of infrastructure for electric bikes or e-scooters the applicant advises that this is already provided within the basement, however can be incorporated as a condition of any approval.

Plot Ratio, Building Heights and Setbacks

The proposed additions to the existing office building satisfy the maximum plot ratio, maximum street building height and maximum overall building height requirements specified under CPS2 and local planning policy 4.4 – Building Heights and Setbacks (LPP 4.4).

The proposed development is however seeking variations to the rear and side setback requirements under LPP 4.4.

Under section 6.2.1 of LPP 4.4 the side and rear setbacks of buildings should ensure there is adequate natural daylight access, ventilation and privacy from within, and outlook from buildings, appropriate to their use and location within a city centre environment.

In addition, section 6.2.1 of LPP 4.4 encourages separation of the upper building levels buildings to provide an attractive city skyline and outlook from the public realm by enabling daylight access and opening up views of the sky.

The proposed development includes a minor variation to the rear (south) lower building level at the basement level whereby a 3 metre setback is required where there are openings and a 2.8 metre setback has been provided.

The setback variation to the rear is considered minor in nature and only applies to the portion of the building 1 – 1.5 metres above the ground floor level. The remainder of the rear building above the basement level will have a setback of 9.9 metres for the lower building level (3 metres required) and 6.3 metres for the upper building level (3 metres required).

Given the above and the variation resulting in no adverse amenity impact in terms of natural daylight access, ventilation, privacy from within or outlook from buildings, it is considered that the variation can be supported in accordance with section 6.2.1 of LPP 4.4 and clause 36(3) of CPS2.

Variations are also proposed to the upper level side setback requirements (east and west elevations) of LPP 4.4, whereby a 3 metre setback is required and a nil setback is proposed.

As outlined by the applicant there were several constraints limiting the ability of the development and new upper floor addition to comply with the side setback requirements of CPS2.

As noted previously the application proposes the retention of the existing building where there is already a nil setback provided to the eastern and western lot boundaries. The location of the core on the eastern boundary and the need to retain this portion of the building for structural support for the upper floor addition, restricts any setback to the eastern elevation. A similar situation exists on the western side of the building which also requires the supporting structure below to accommodate the new upper floor level addition. Options to provide some side setback relief was investigated by the applicant's structural engineer with some minor portions of the building pulled back to provide visual relief within the constraints of the structural limitations.

The functional needs of the school and floorspace were also an important factor influencing the upper floor addition. Without the nil side setbacks staff and student facilities such as the gymnasium and full-size basketball court would not be able to be provided within the building.

As advised by the City's DRP, the nil setbacks to the side elevations may have implications on the future redevelopment of the adjacent sites, particularly to the west. This could mean any future redevelopment on the adjacent sites will be limited in terms of the location of openings and result in a built form which also has nil side setbacks to the subject site.

As outlined by the applicant, the property to the east and west both currently have nil side setbacks. The site to the east is a narrow lot and any redevelopment of this site will be difficult to achieve without a setback variation. In addition, the southern (rear) setback of the building adjacent to a residential apartment building exceeds the minimum setback requirements and is the most sensitive land use which will benefit from the high level of separation.

The existing streetscape context and the form of the development provides a sufficient level of separation to the residential apartment building to the rear and enable views to the sky and daylight access for the surrounding public realm. The internal design of the proposed upper floor additions also allows for borrowed light to be provided to the internal student and staff amenity facilities through the glazed classroom window. It is therefore considered that the side setback variations to the upper floor building can be supported in accordance with the principles under section 6.2.1 of LPP 4.4 and clause 36(3) of CPS2.

Noise, Amenity and Traffic

The operator of the Quest Apartment Hotel, located directly adjacent to the subject site at 451 Murray Street, has raised a number of concerns in relation to the proposed school use and the impact it will have in terms of noise, traffic and parking on its hotel guests.

One of the main concerns raised is the noise that will be generated as a result of the volume of students and staff within the building. In particular, the noise generated in the open air stairwell, outdoor terrace located on level 2 and rooftop play area and basketball court.

As noted in the applicant's statement the subject site is located in the Citiplace Precinct which is a mixed-use area containing a variety of land uses including entertainment venues. A secondary college ('Education 2') is a contemplated use in this location and is considered an appropriate land use in terms of the Citiplace precinct statement of intent for the area in terms of enhancing activity and vibrancy within the area and along Murray Street.

The applicant advises that the school classes will be held between 8.30am to 3.30pm Monday to Friday and 8.30am to 2.40pm on Friday. The activities outside of school hours such as study sessions, homework clubs and music rehearsals will commence no earlier than 7.30am on weekdays. Occasional evening events such as silent discos, quiz nights and parent teacher nights will generally be held between 6pm and 9pm. There are no scheduled school activities that will occur at the subject site on the weekends.

In relation to the outdoor terrace area situated on level 2 this area will be located next to a seven level high blank wall at the property at 451 Murray Street. Therefore, there will be no window openings at the adjacent property that will be directly impacted by the outdoor terrace area. As outlined in the acoustic assessment, the location of the school within an inner-city noise environment is likely to mask the noise generated at the site and will result in minimal noise disturbances or annoyances to the nearby properties.

With respect to the basketball court and gymnasium this will be located internally within the building which will be acoustically treated. The roof terrace is located approximately six floors above the top of the adjacent building at 451 Murray Street and as outlined in the acoustic assessment is not considered to be a significant risk in terms of noise to the surrounding area.

It is considered that the operational hours of the school which will occur mainly during business hours, the location of the level 2 terrace adjacent to a blank wall and height of the roof terrace above the adjacent property and the internal location of the gymnasium and basketball court which will be acoustically treated, will have no undue adverse amenity impacts on this property at 451 Murray Street and its guests, particularly given its inner-city context.

As noted by the applicant, hotel guests are more likely to be impacted in the evenings by the entertainment venues situated in close proximity to the site than the daytime activities of the school.

Students will also have an area within the ground floor forecourt of the main entry to congregate before and after school, reducing any impact to pedestrians utilising the adjacent footpath.

The operator of Quest Apartments has also raised concerns regarding the availability of on-street parking and increased traffic in the area as a result of parents dropping off and picking up their children as well as the use of school buses for excursions, sporting and general events.

In relation to the parking and traffic concerns raised by the adjacent property, the school estimates that 95 per cent of students will arrive by public transport. The Transport Team has confirmed that the use of public transport together with peak hour trip generation from the on-site parking bays does not represent a significant issue in terms of traffic flows on Murray Street.

In relation to parking in the local area, whilst there may be greater demand for the use of short term on street parking bays in the first week back to school it is considered that this demand will subside as students and parents fall into their normal routine. On any given day it is predicted that there will be 35 drops offs the start of school and the same number for pick-ups at the end of the day. The Transport Team has confirmed there are ample on-street short term parking bays near the site to cater for this demand and if there are no bays available parking parents can utilise the on-street bays further away from the site.

With respect to school buses, the applicant advises that the school will use minibuses to transport students between the city campus and to places such as Kings Park or Bold Park for physical education, sporting competitions and other campus visits. It is proposed that the minibus will utilise the existing five minute pick up or set down bay when picking up or dropping off students.

The applicant has requested that either the five minute set down bay or two bays in front of the nearby Wilson public car park facility be converted into a set down bay for the school. As the on-street parking bays proposed for conversion to a bus bay for the school are located outside of the application site, this will require a further investigation by the City's Transport and Parking Services Teams and will be subject to a separate approval process.

Notwithstanding the above, it is considered that the use of the existing set down bay for the minibus to pick up and drop off students will have no adverse impact to the existing traffic network or parking availability in the local area, particularly given its inner-city context.

Conclusion:

The proposal presents an opportunity to develop a benchmark example for the adaptive reuse of an aging and vacant low grade commercial office building within the city centre. The proposed reuse of the building by the St Georges Anglican Grammar School and the head offices of the Anglican Schools Commission and Anglican Schools Commission International will bring a hive of daytime activity and vibrancy to the Citiplace Precinct on Murray Street.

The revised plans and additional information provided by the applicant, in particular the detailed design of the external 'red ribbon' stair and student forecourt area, is considered to adequately address the recommendations of the DRP. The landscape concept which includes the use of materials sourced from Western Australia is considered an appropriate design response with the detailed design including the addition of shading devices being submitted to the City as a condition of any approval.

The development is generally compliant with the development standards of CPS2 and LPP 4.4 in relation to plot ratio and street and maximum building height. A minor variation is sought to the rear elevation of the ground level basement with more substantial variations proposed at the upper floor levels of the eastern and western elevations.

As noted by the applicant the adaptive reuse of the building has resulted in structural implications limiting the ability to set back the upper floor additions. The need to accommodate a full size basketball court, gymnasium and outdoor area for the students has also influenced the minimum floor plate sizes that are required and the ability to set back the building.

Whilst seeking variations to the upper level side setback requirements it is noted that the proposed additions will follow the existing building line which also has a nil setback to the boundaries. In addition, the proposed setback to the rear lot boundary adjacent to a residential apartment complex, will be well in excess of the minimum setback requirement. Whilst there will be some impact of the nil setbacks to upper floor levels to the properties to the east and west, it will not prohibit the future redevelopment of these properties. The proposed development still provides for views to the sky and access to daylight to the public realm, consistent with the principles of LPP 4.4.

Whilst some concerns were raised from the operator of the hotel at the adjacent site regarding the noise generated by student activity, the findings of the noise report indicates that there will be no undue adverse amenity to the surrounding properties,

particularly given the operational hours of the school during business hours and its inner-city context.

In terms of traffic and parking the proposal complies with the maximum number of commercial tenant bays permitted under CPS2 and the PPP. As outlined in the Traffic Assessment most students will arrive to the school via public transport and there will be no significant impact on traffic flow or on-street parking in the local area.

Based on the above it is considered that the proposed development for refurbishment works and additions to an existing office building for its adaptive reuse as a secondary college ('Education 2') and school head offices ('Office') should be supported in accordance with the objectives, requirements and principles of CPS2 and its associated local planning policy framework.



441-445 (LOT 16) MURRAY STREET, PERTH



441-445 (LOT 16) MURRAY STREET, PERTH



441-445 (LOT 16) MURRAY STREET, PERTH

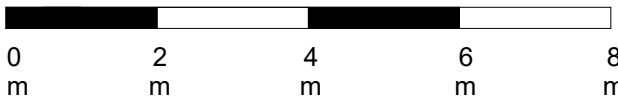
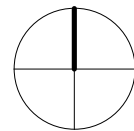


441-445 (LOT 16) MURRAY STREET, PERTH



REFERENCE MAP

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B	ISSUE FOR DA	28/10/22
C	ISSUE FOR DD	18/11/22
D	ISSUE FOR DA	03/03/23

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ASC

PROJECT

Anglican Schools Commission
441 MURRAY ST, PERTH

STATUS

ISSUE FOR DA APPROVAL

DRAWING TITLE

LOCATION PLAN

REVIEWED

AS

APPROVED

DG

DRAWING NO.

A_0100

SCALE @ A1

1 : 1000

PROJECT NO.

015881

REV NO.

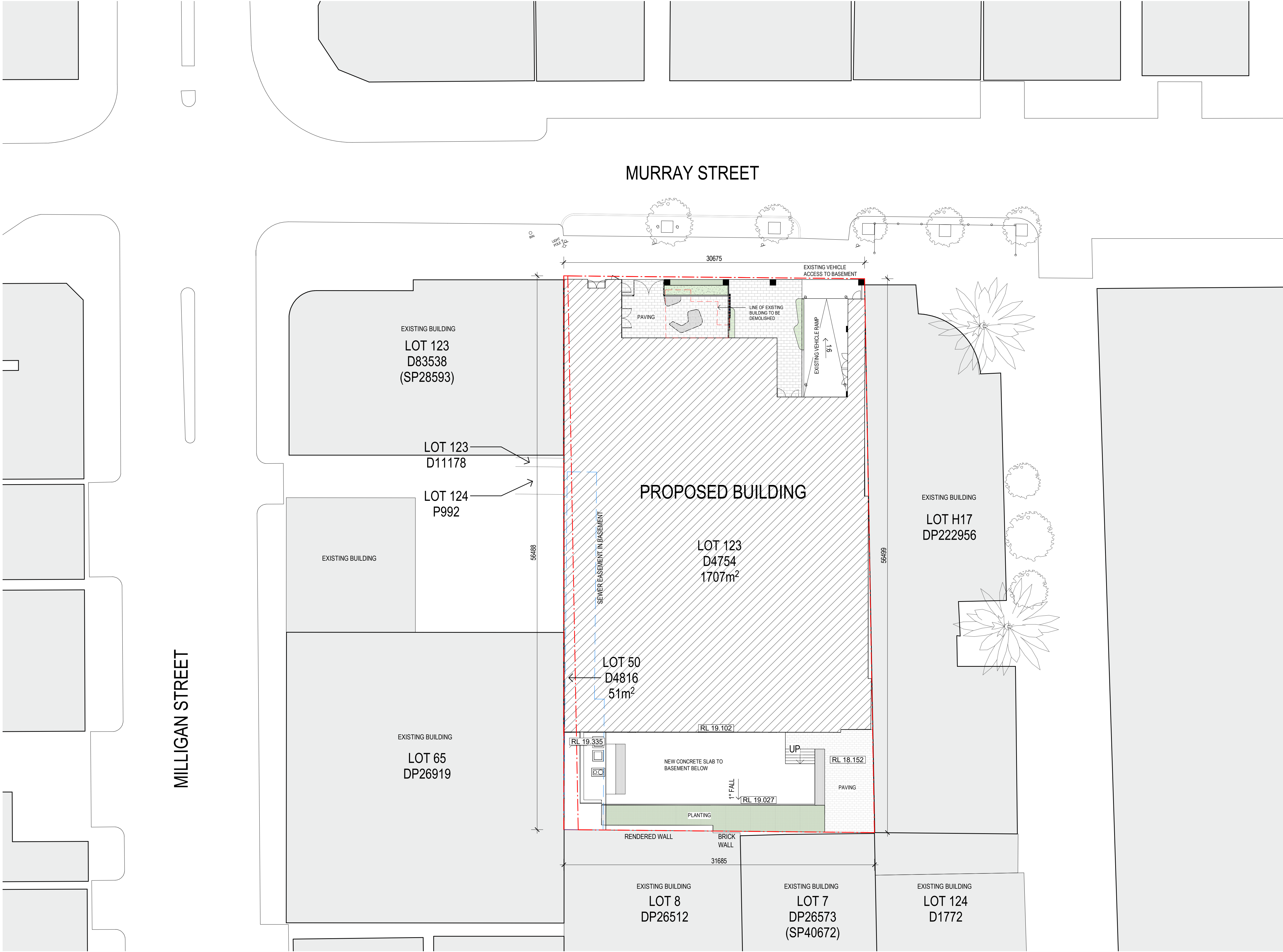
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City of Perth

3/3/2023

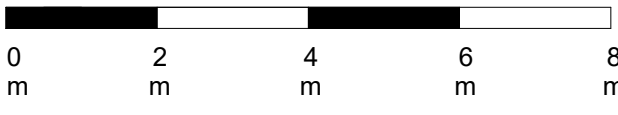
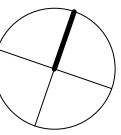
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Anglican Schools Commission

441 MURRAY ST, PERTH

STATUS

ISSUE FOR DA APPROVAL

DRAWING TITLE

SITE PLAN

REVIEWED

AS

APPROVED

DG

DRAWING NO.

A_0101

SCALE @ A1

1 : 200

PROJECT NO.

015881

REV NO.

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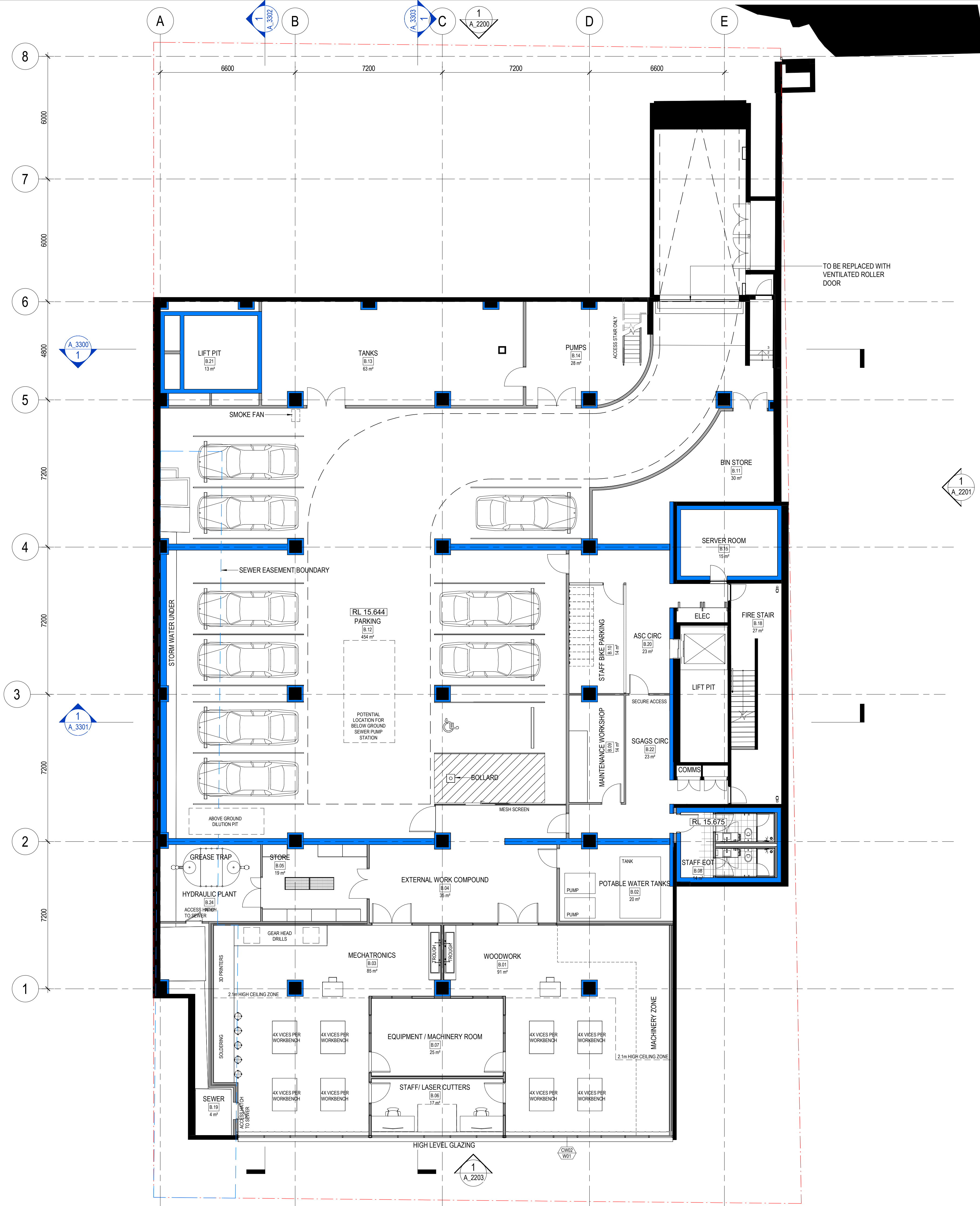
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 - STREET PARKING SIGN
 - LIGHT POLE
 - BOUNDARY
 - SEWER EASEMENT

City of Perth

3/3/2023

Received

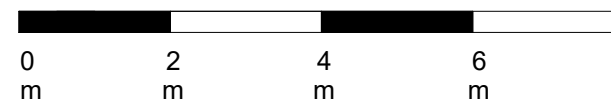
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LEGEND
--- SITE BOUNDARY
--- SEWER EASEMENT BOUNDARY
--- EXISTING WALLS
--- NEW WALLS
--- NEW STRUCTURAL WALLS

REFERENCE MAP

NORTH



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G	ISSUE FOR COORDINATION	03/02/23
H	ISSUE FOR DA	03/03/23

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PROJECT

Anglican Schools Commission

441 MURRAY ST, PERTH

STATUS

ISSUE FOR DA APPROVAL

DRAWING TITLE

FLOOR PLAN - B01

REVIEWED

AS

SCALE @ A1

1 : 100

APPROVED

DG

PROJECT NO.

015881

DRAWING NO.

A_1100

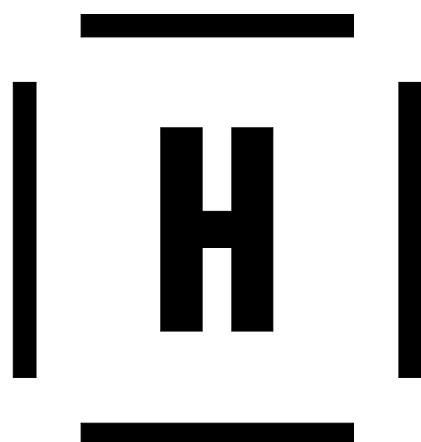
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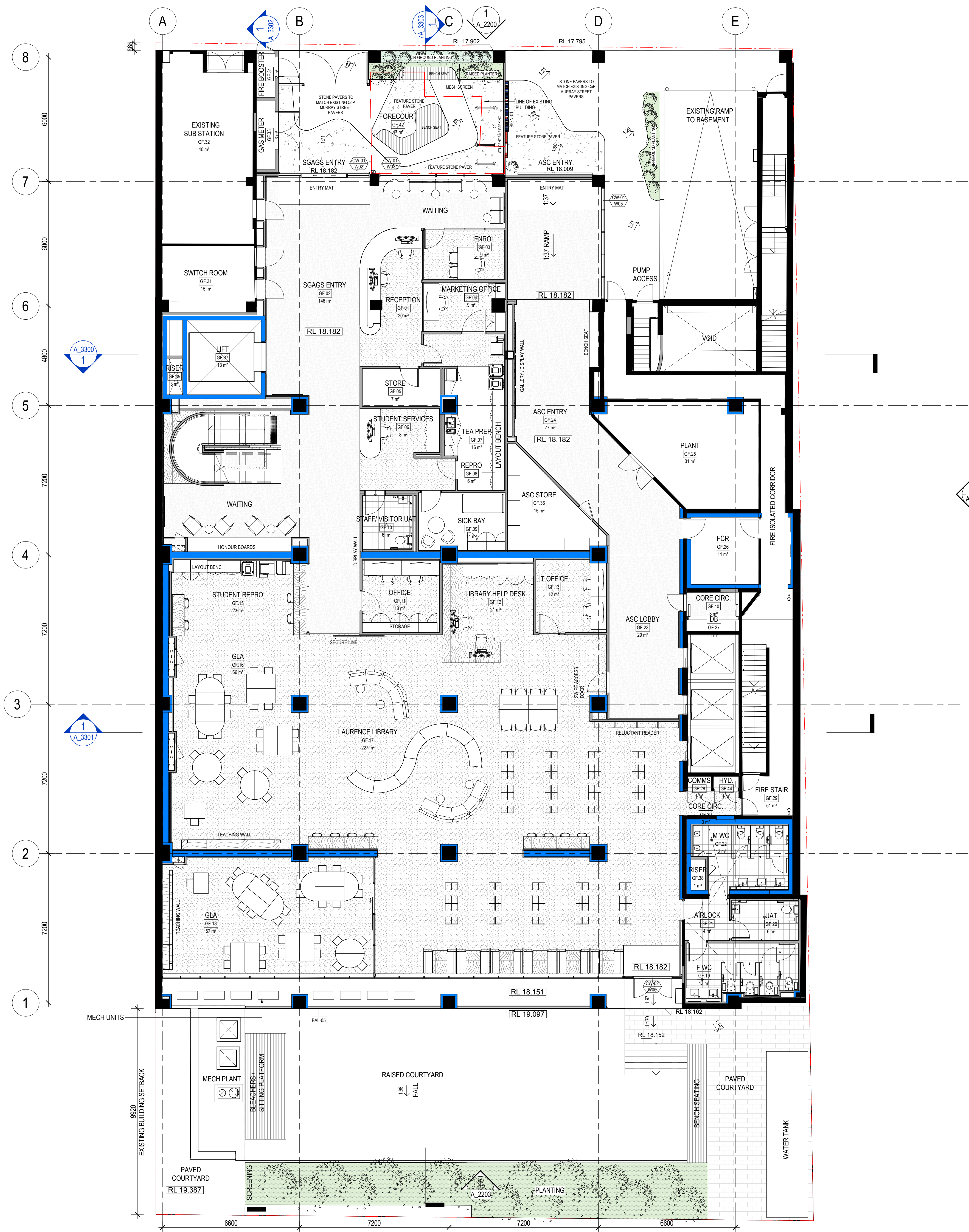
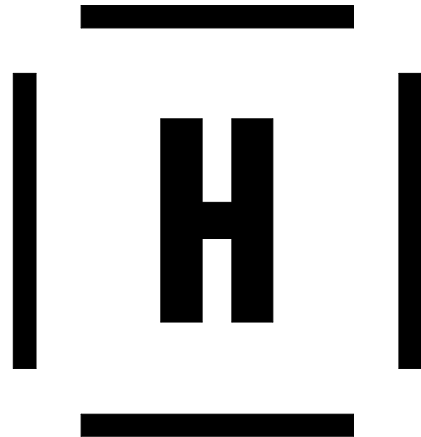
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3/3/2023

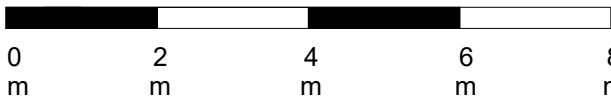
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- LEGEND**
- SITE BOUNDARY
 - SEWER EASEMENT BOUNDARY
 - EXISTING WALLS
 - NEW WALLS
 - NEW STRUCTURAL WALLS

REFERENCE MAP



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H	ISSUE FOR DA	03/03/23

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441 MURRAY ST, PERTH

STATUS

ISSUE FOR DA APPROVAL

DRAWING TITLE

FLOOR PLAN - L00

REVIEWED

AS

APPROVED

DG

DRAWING NO.

A_1101

SCALE @ A1

1 : 100

PROJECT NO.

015881

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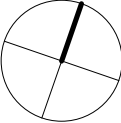
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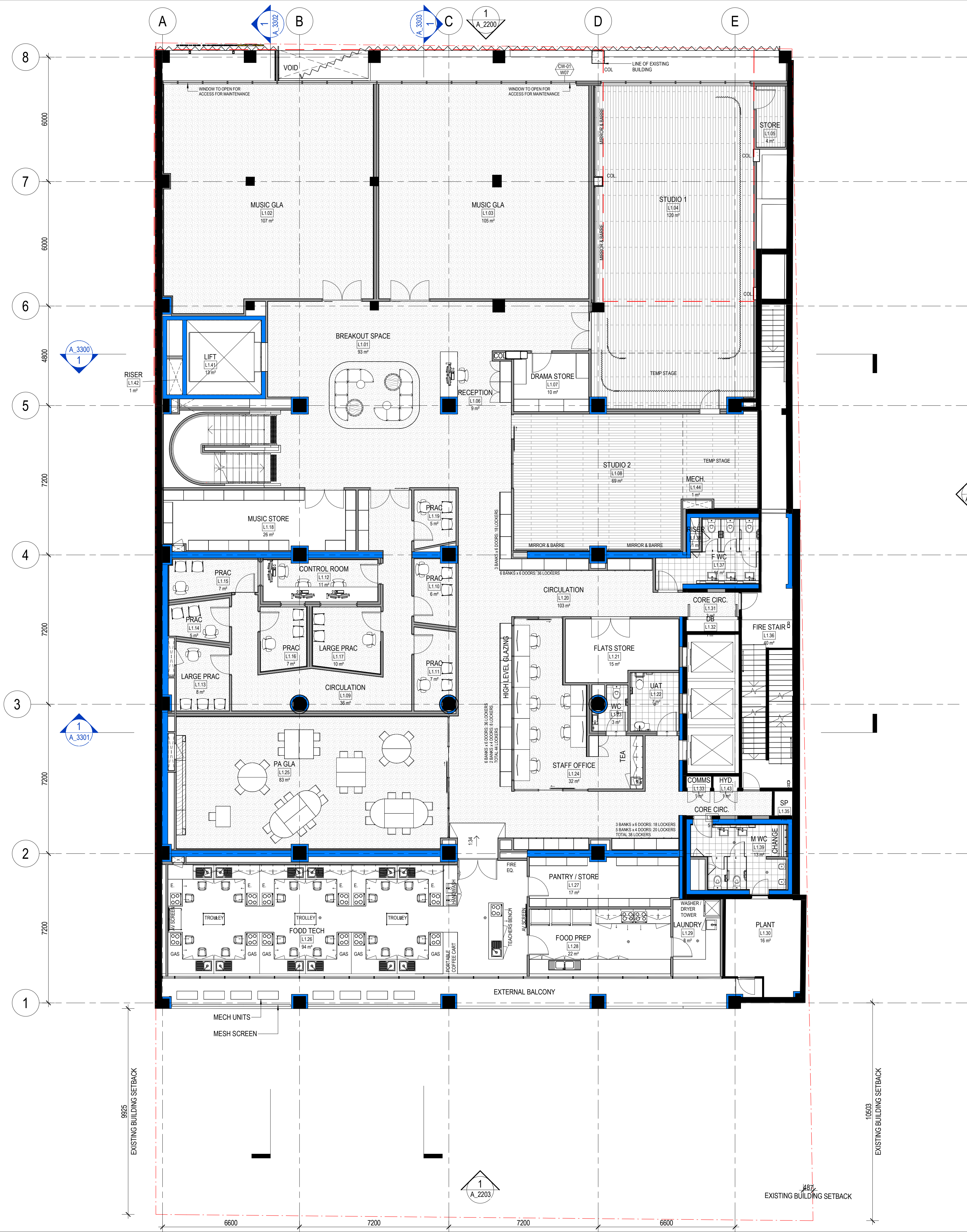
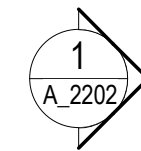
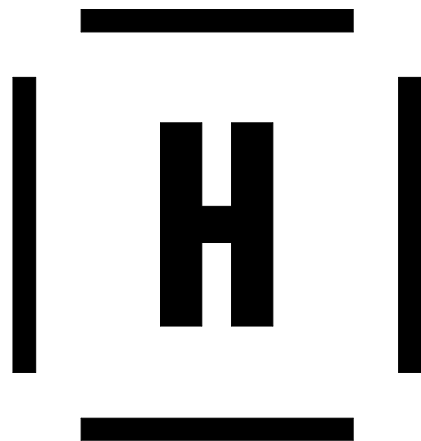
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3/3/2023

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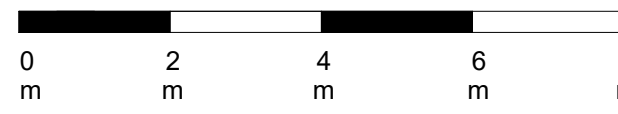
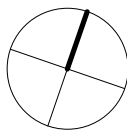




LEGEND
--- SITE BOUNDARY
--- SEWER EASEMENT BOUNDARY
--- EXISTING WALLS
--- NEW WALLS
--- NEW STRUCTURAL WALLS

REFERENCE MAP

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H	ISSUE FOR DA	03/03/23

DATE

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PROJECT

Anglican Schools Commission
441 MURRAY ST, PERTH

STATUS

ISSUE FOR DA APPROVAL

DRAWING TITLE

FLOOR PLAN - L01

REVIEWED

AS

APPROVED

DG

DRAWING NO.

A_1102

SCALE @ A1

1 : 100

PROJECT NO.

015881

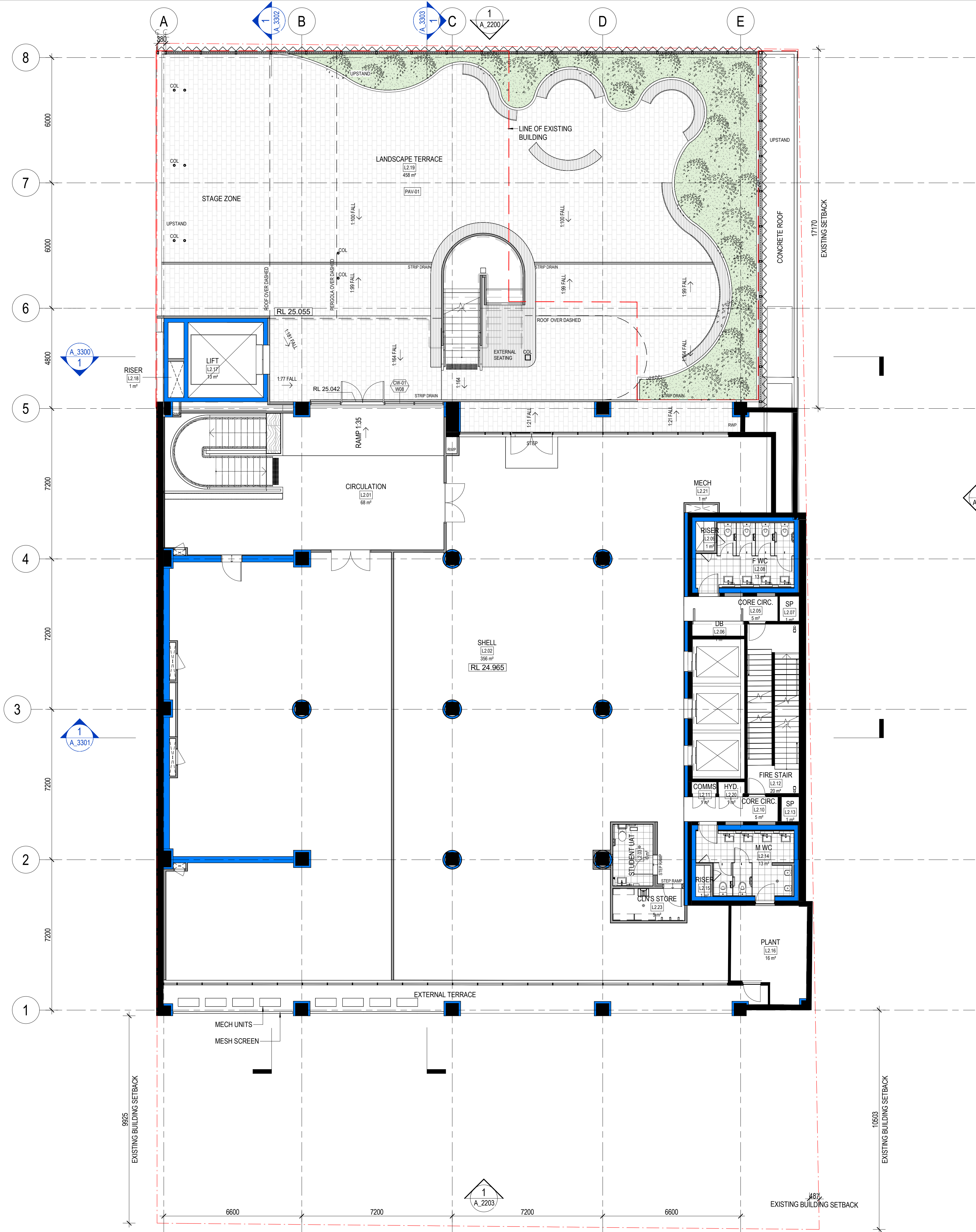
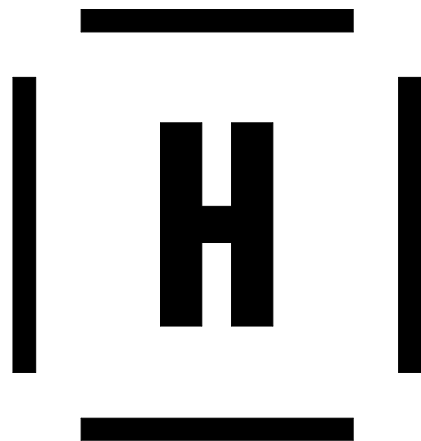
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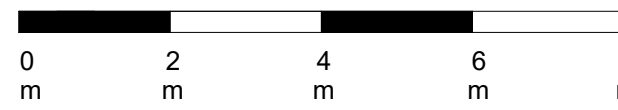
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 - NEW STRUCTURAL WALLS

REFERENCE MAP



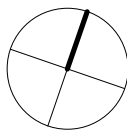
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H	ISSUE FOR DA	03/03/23

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PROJECT

Anglican Schools Commission
441 MURRAY ST, PERTH

STATUS

ISSUE FOR DA APPROVAL

DRAWING TITLE

FLOOR PLAN - L02

REVIEWED

AS

APPROVED

DG

DRAWING NO.

A_1103

SCALE @ A1

1 : 100

PROJECT NO.

015881

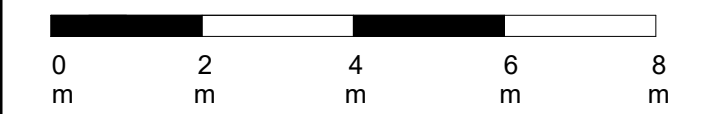
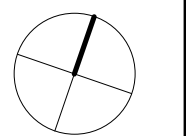
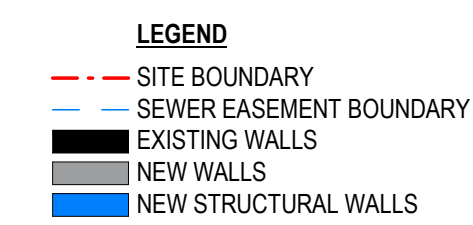
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A	ISSUE FOR DD	18/11/22
B	ISSUE FOR DA	03/03/23

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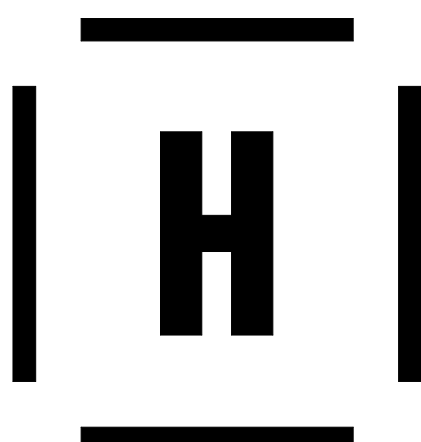
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242 Murray Street
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T +61 8 6477 6000
perth@hassellstudio.com

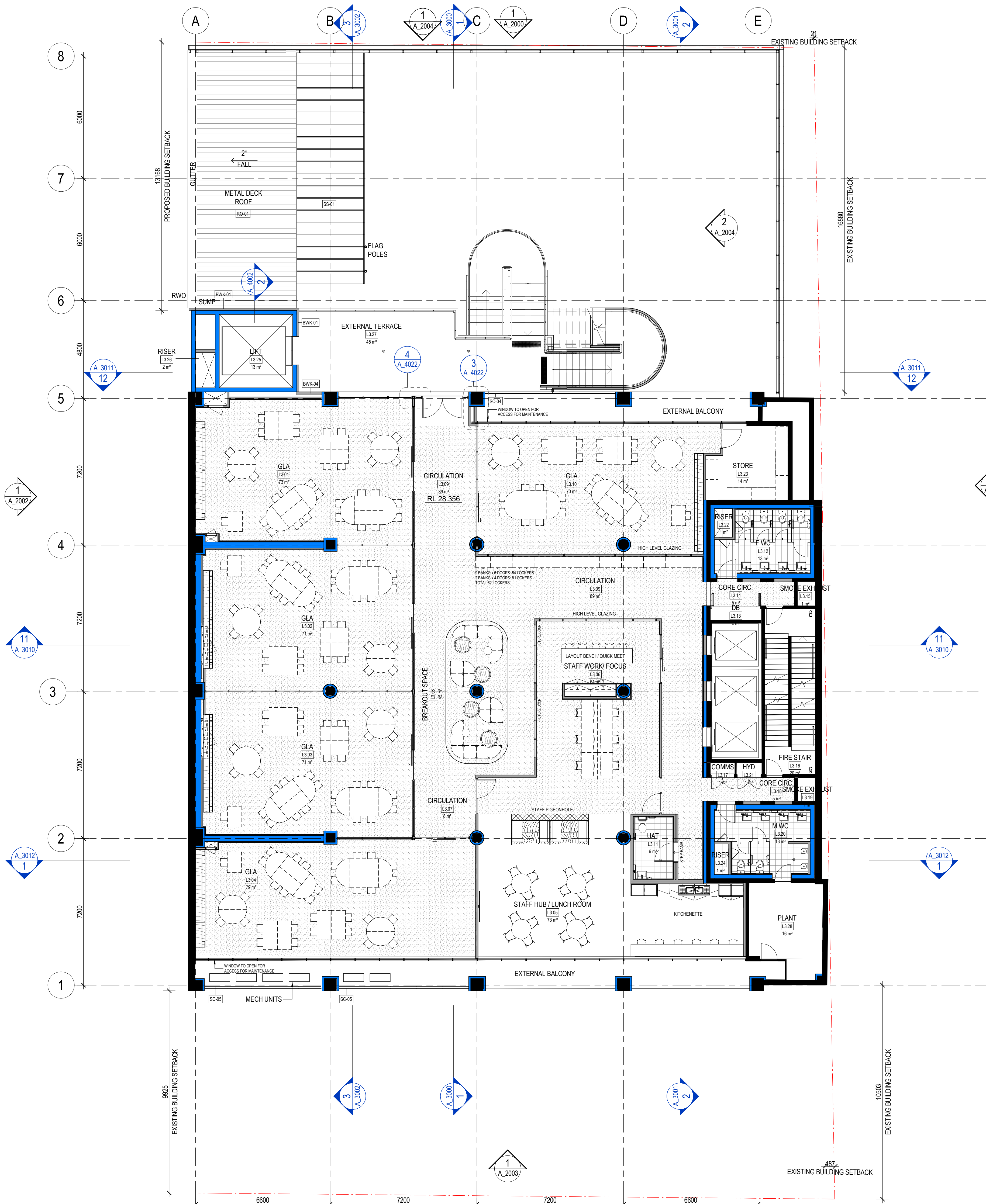
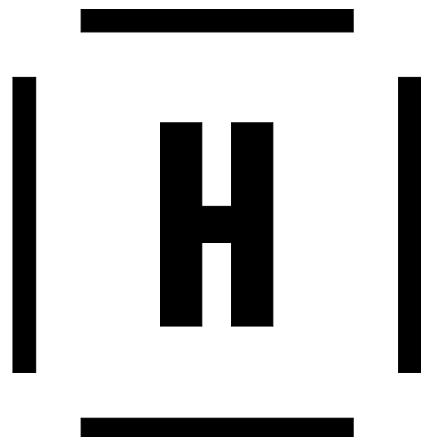
441 MURRAY ST, PERTH

DRAWING TITLE
FLOOR PLAN - L02 STAGE 02

B

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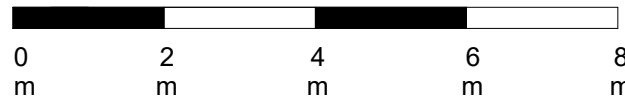
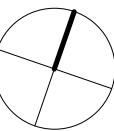




- LEGEND**
- SITE BOUNDARY
 - SEWER EASEMENT BOUNDARY
 - EXISTING WALLS
 - NEW WALLS
 - NEW STRUCTURAL WALLS

REFERENCE MAP

NORTH



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D	ISSUE FOR COORDINATION	21/10/22
E	ISSUE FOR DA	28/10/22
F	ISSUE FOR DD	18/11/22
G	ISSUE FOR COORDINATION	03/02/23
H	ISSUE FOR DA	03/03/23

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441 MURRAY ST, PERTH

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DRAWING TITLE

FLOOR PLAN - L03

REVIEWED

AS

SCALE @ A1

1 : 100

APPROVED

DG

PROJECT NO.

015881

DRAWING NO.

A_1104

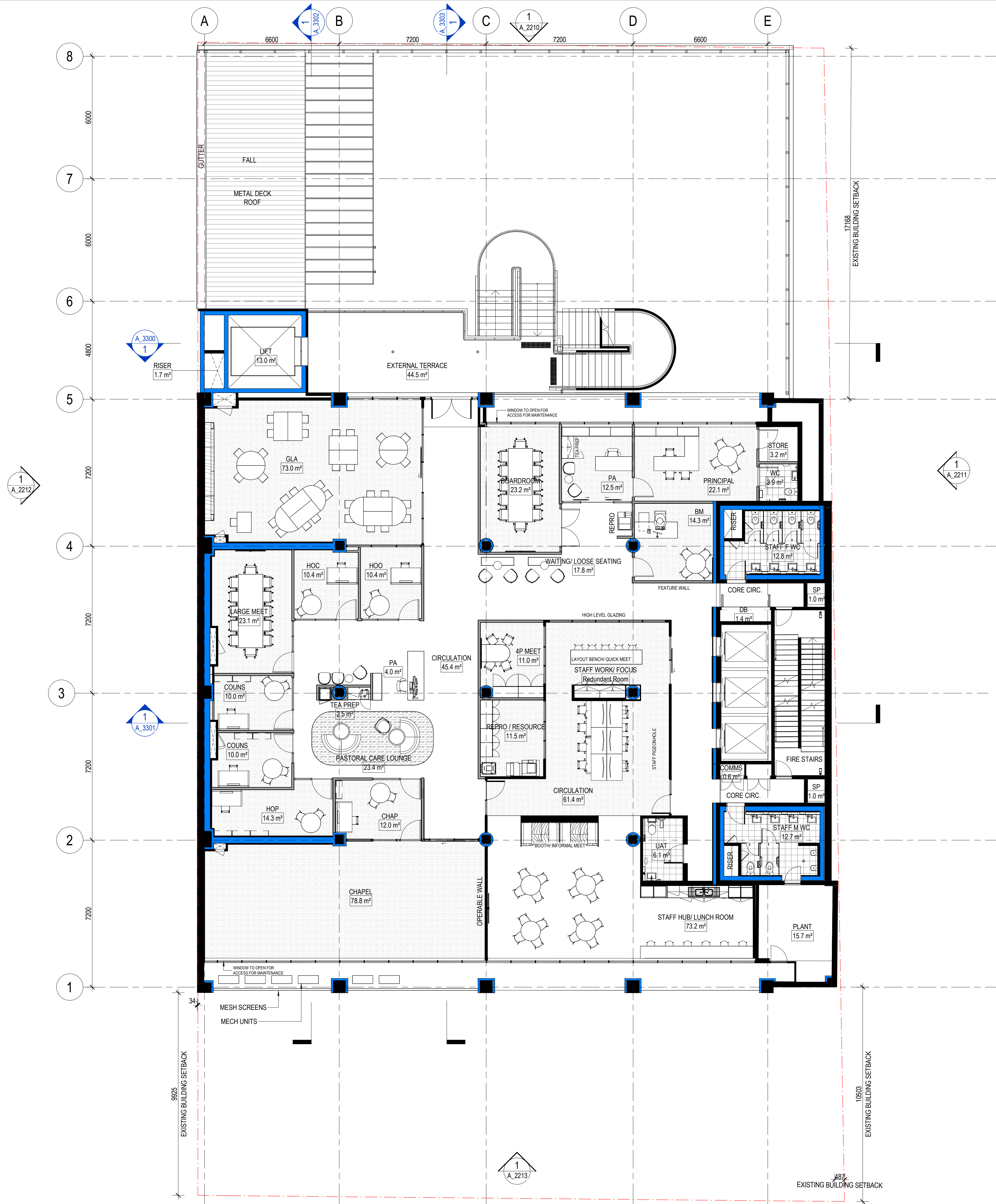
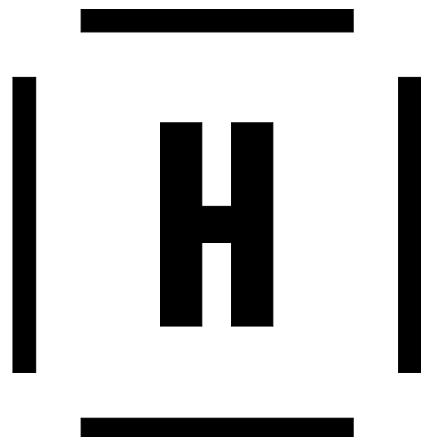
REV NO.

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3/3/2023

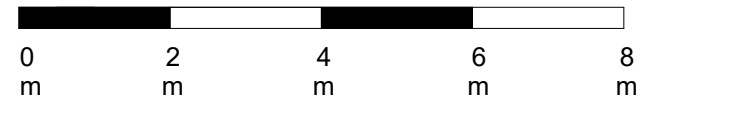
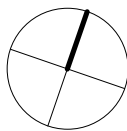
Received



- LEGEND**
- SITE BOUNDARY
 - SEWER EASEMENT BOUNDARY
 - EXISTING WALLS
 - NEW WALLS
 - NEW STRUCTURAL WALLS

REFERENCE MAP

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G	ISSUE FOR DA	03/03/23

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DRAWING TITLE

FLOOR PLAN - L03 STAGE 02

REVIEWED

AS

APPROVED

DG

DRAWING NO.

A_1105

SCALE @ A1

1 : 100

PROJECT NO.

015881

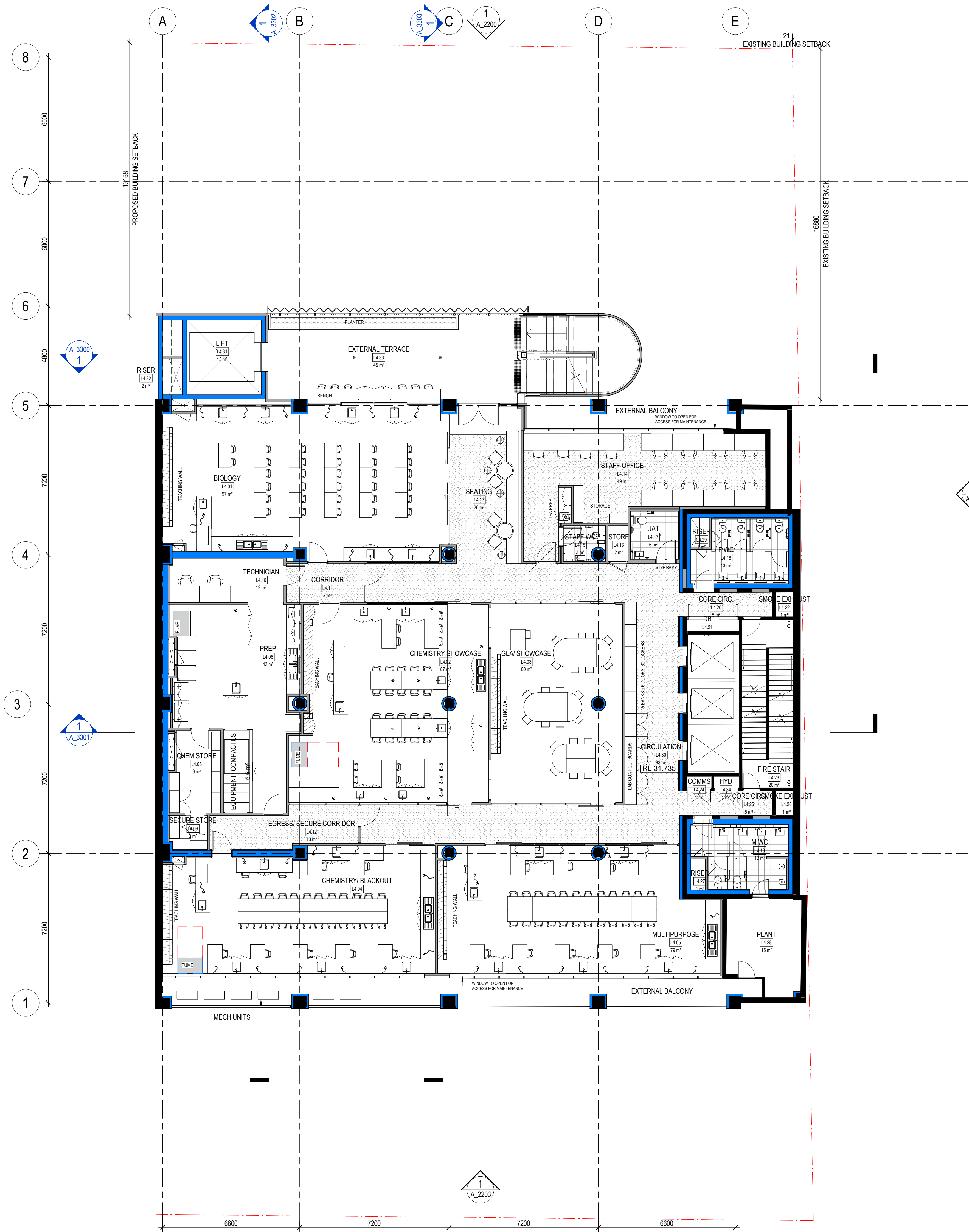
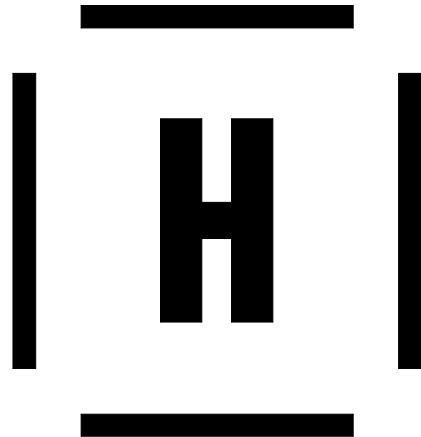
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G

City of Perth

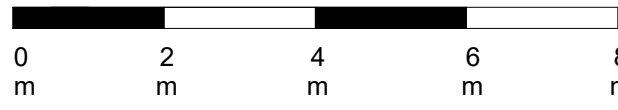
3/3/2023

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- LEGEND**
- SITE BOUNDARY
 - SEWER EASEMENT BOUNDARY
 - EXISTING WALLS
 - NEW WALLS
 - NEW STRUCTURAL WALLS

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G	ISSUE FOR DA	03/03/23

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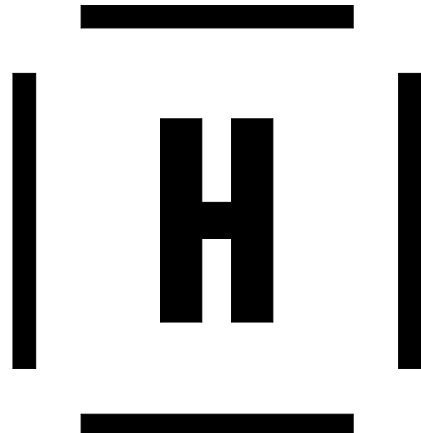
FLOOR PLAN - L04

REVIEWED	SCALE @ A1
AS	1 : 100
APPROVED	PROJECT NO.
DG	015881
DRAWING NO.	REV NO.
A_1106	G

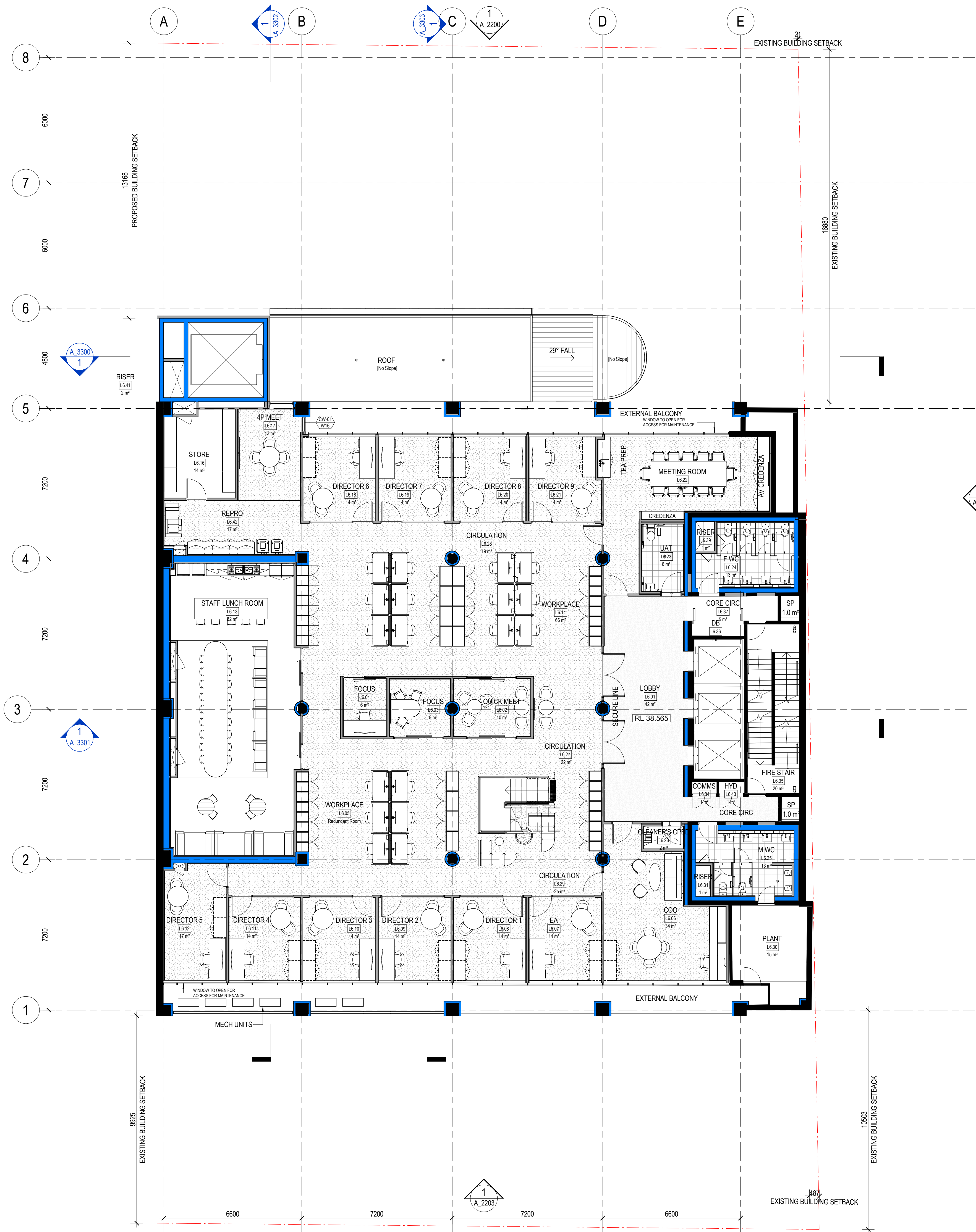
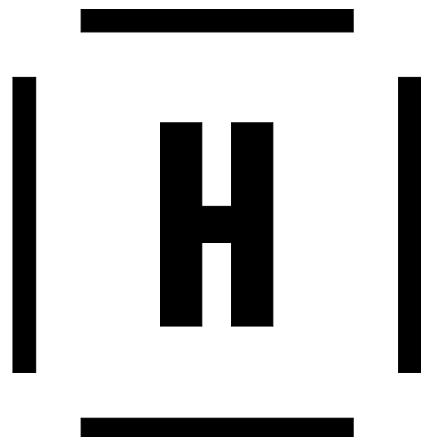
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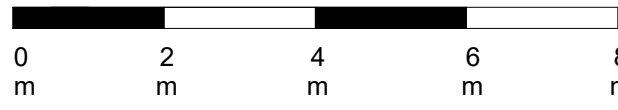


City of Perth
3/3/2023
Received



- LEGEND**
- SITE BOUNDARY
 - SEWER EASEMENT BOUNDARY
 - EXISTING WALLS
 - NEW WALLS
 - NEW STRUCTURAL WALLS

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G	ISSUE FOR COORDINATION	03/02/23
H	ISSUE FOR DA	03/03/23

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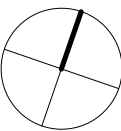
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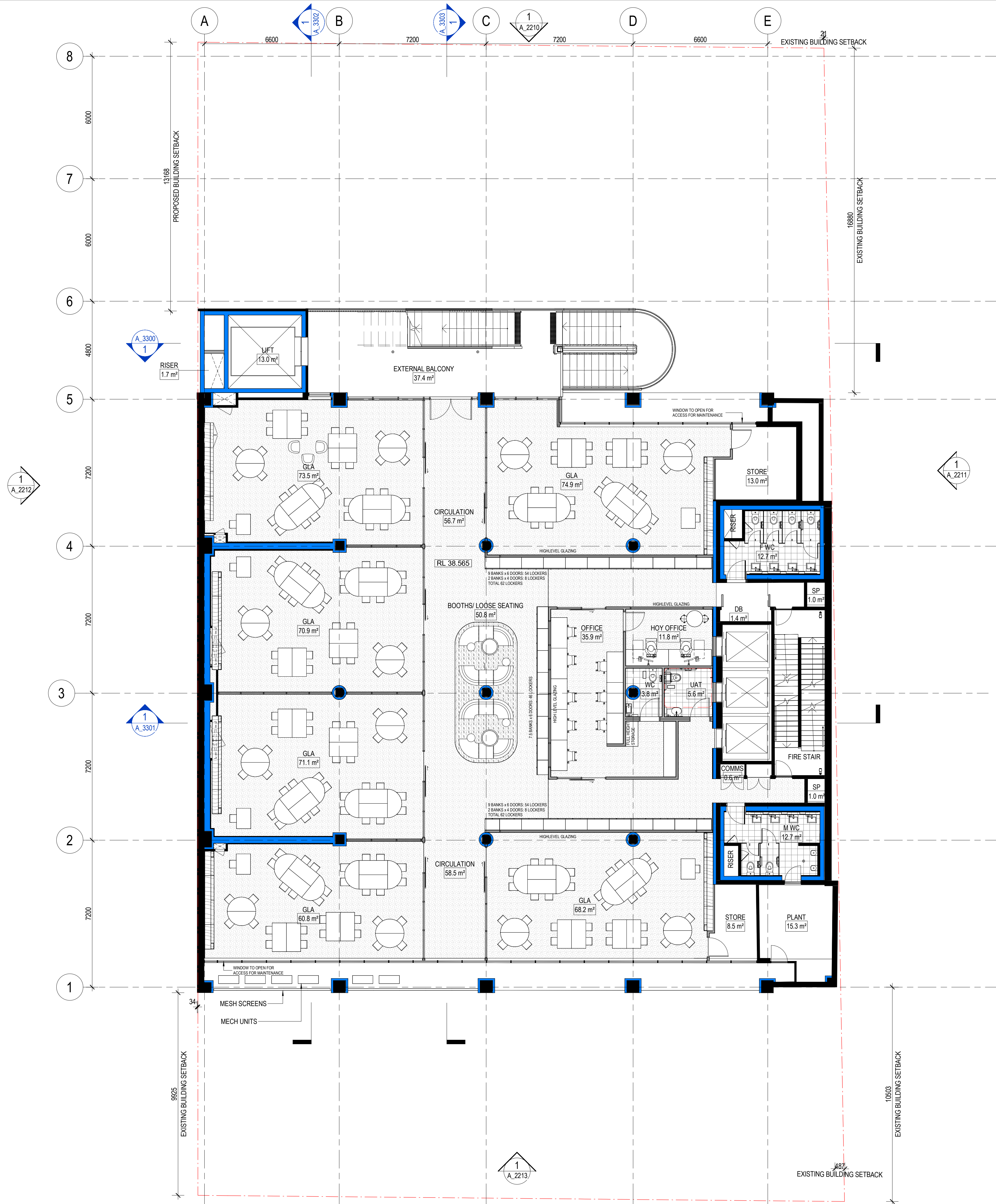
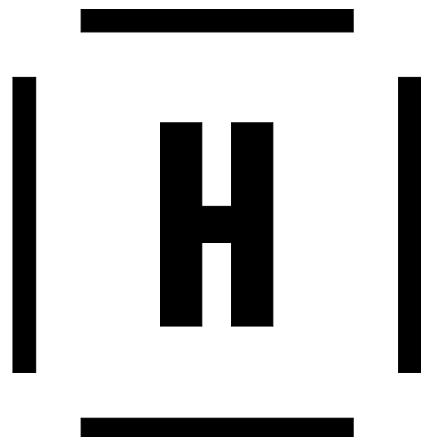
DRAWING TITLE
FLOOR PLAN - L06

REVIEWED AS	SCALE @ A1 1 : 100
APPROVED DG	PROJECT NO. 015881
DRAWING NO. A_1108	REV NO. H

City of Perth
3/3/2023
Received

NORTH

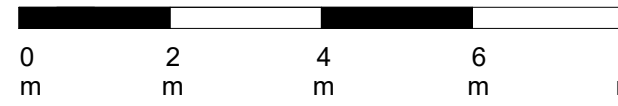
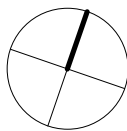




- LEGEND**
- SITE BOUNDARY
 - SEWER EASEMENT BOUNDARY
 - EXISTING WALLS
 - NEW WALLS
 - NEW STRUCTURAL WALLS

REFERENCE MAP

NORTH



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DRAWING TITLE

FLOOR PLAN - L06 STAGE 02

REVIEWED

AS

SCALE @ A1

1 : 100

APPROVED

DG

PROJECT NO.

015881

DRAWING NO.

A_1109

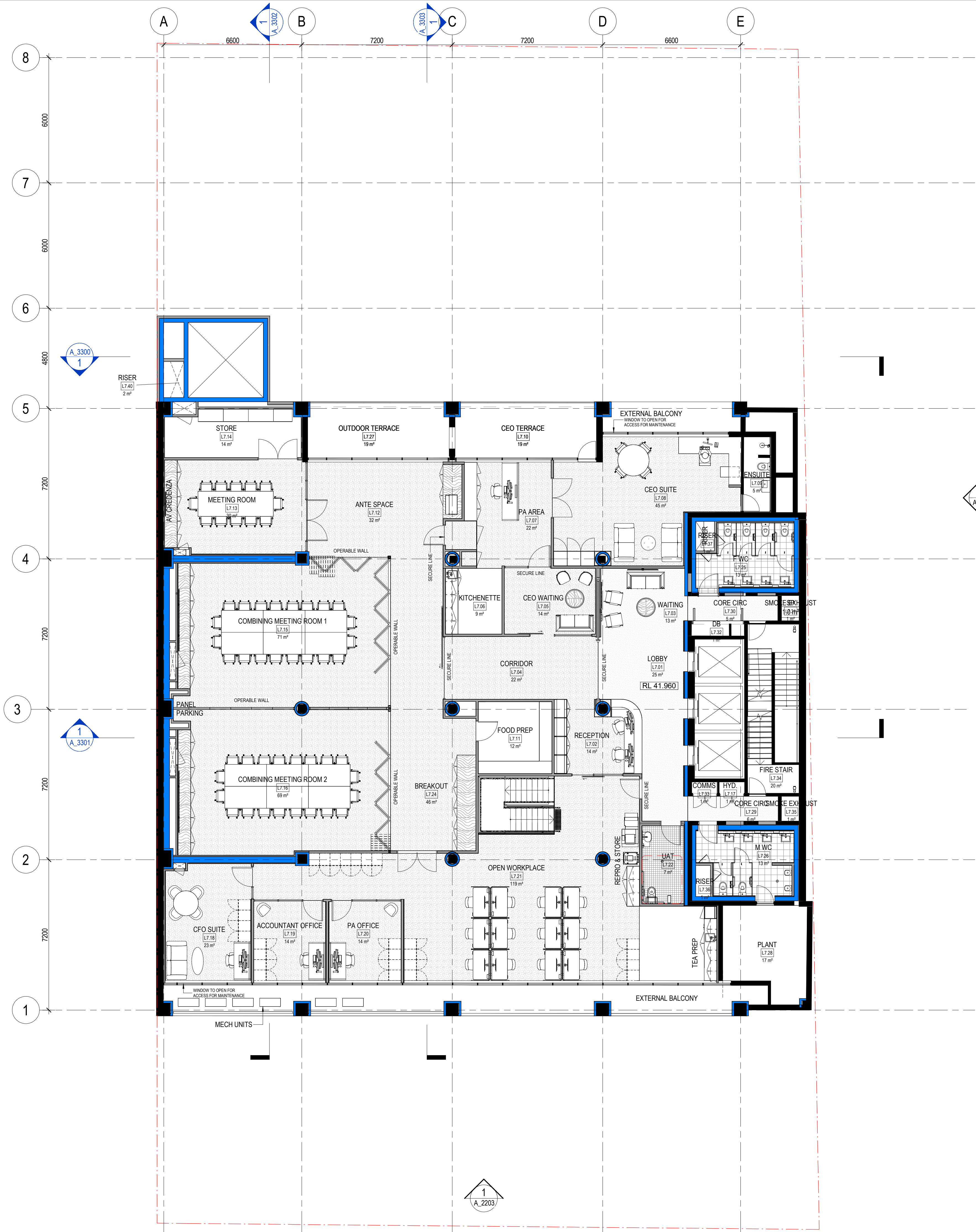
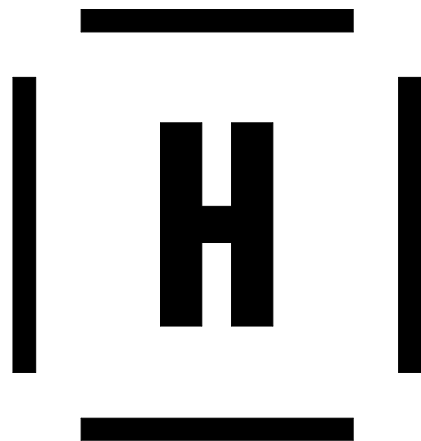
REV NO.

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3/3/2023

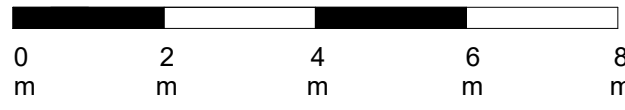
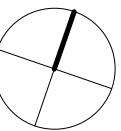
Received



- LEGEND**
- SITE BOUNDARY
 - SEWER EASEMENT BOUNDARY
 - EXISTING WALLS
 - NEW WALLS
 - NEW STRUCTURAL WALLS

REFERENCE MAP

NORTH



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DRAWING TITLE
FLOOR PLAN - L07

REVIEWED

AS

APPROVED

DG

DRAWING NO.

A_1110

SCALE @ A1

1 : 100

PROJECT NO.

015881

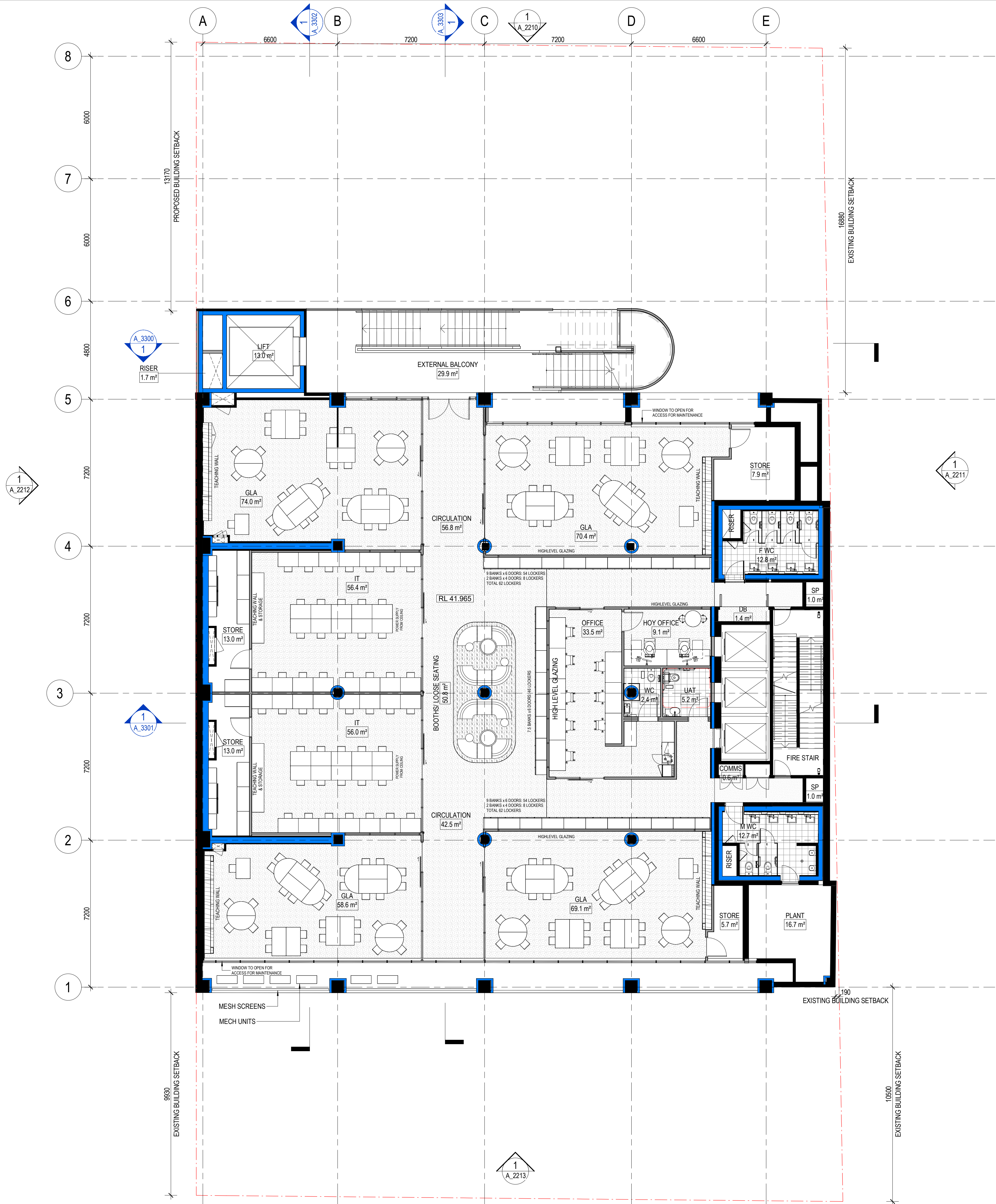
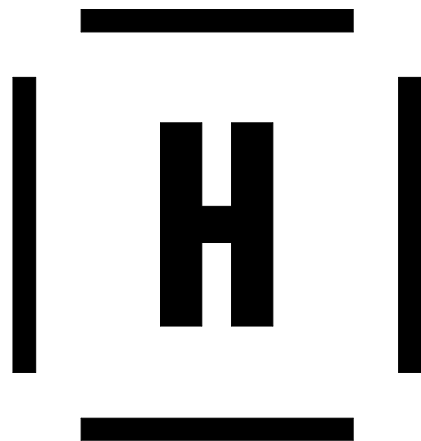
REV NO.

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City of Perth

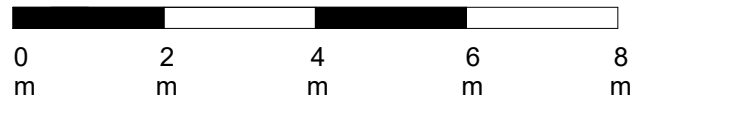
3/3/2023

Received



- LEGEND**
- SITE BOUNDARY
 - SEWER EASEMENT BOUNDARY
 - EXISTING WALLS
 - NEW WALLS
 - NEW STRUCTURAL WALLS

REFERENCE MAP



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DRAWING TITLE

FLOOR PLAN - L07 STAGE 02

REVIEWED

AS

APPROVED

DG

DRAWING NO.

A_1111

SCALE @ A1

1 : 100

PROJECT NO.

015881

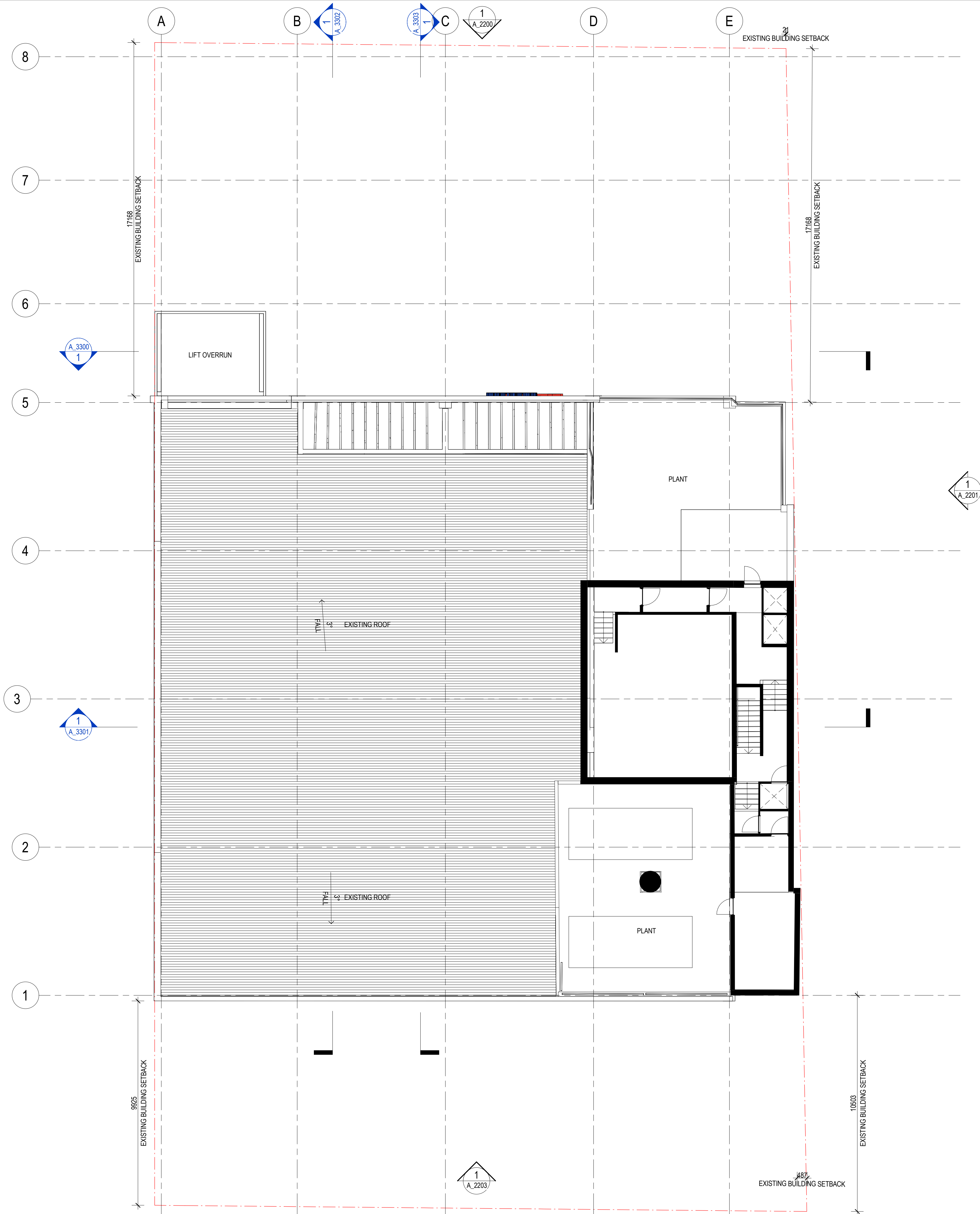
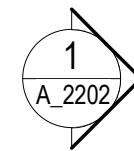
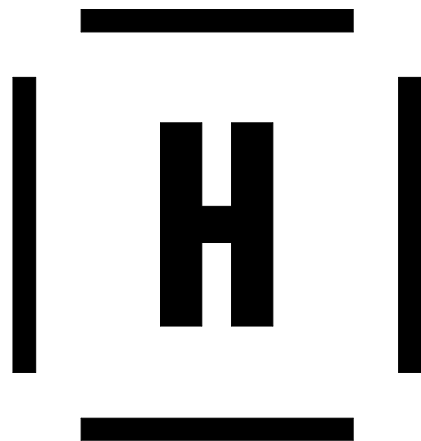
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City of Perth

3/3/2023

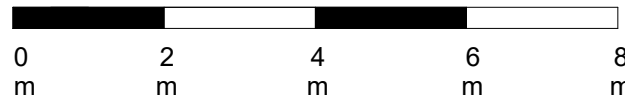
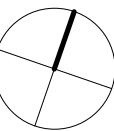
Received



- LEGEND**
- SITE BOUNDARY
 - SEWER EASEMENT BOUNDARY
 - EXISTING WALLS
 - NEW WALLS
 - NEW STRUCTURAL WALLS

REFERENCE MAP

NORTH



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DRAWING TITLE

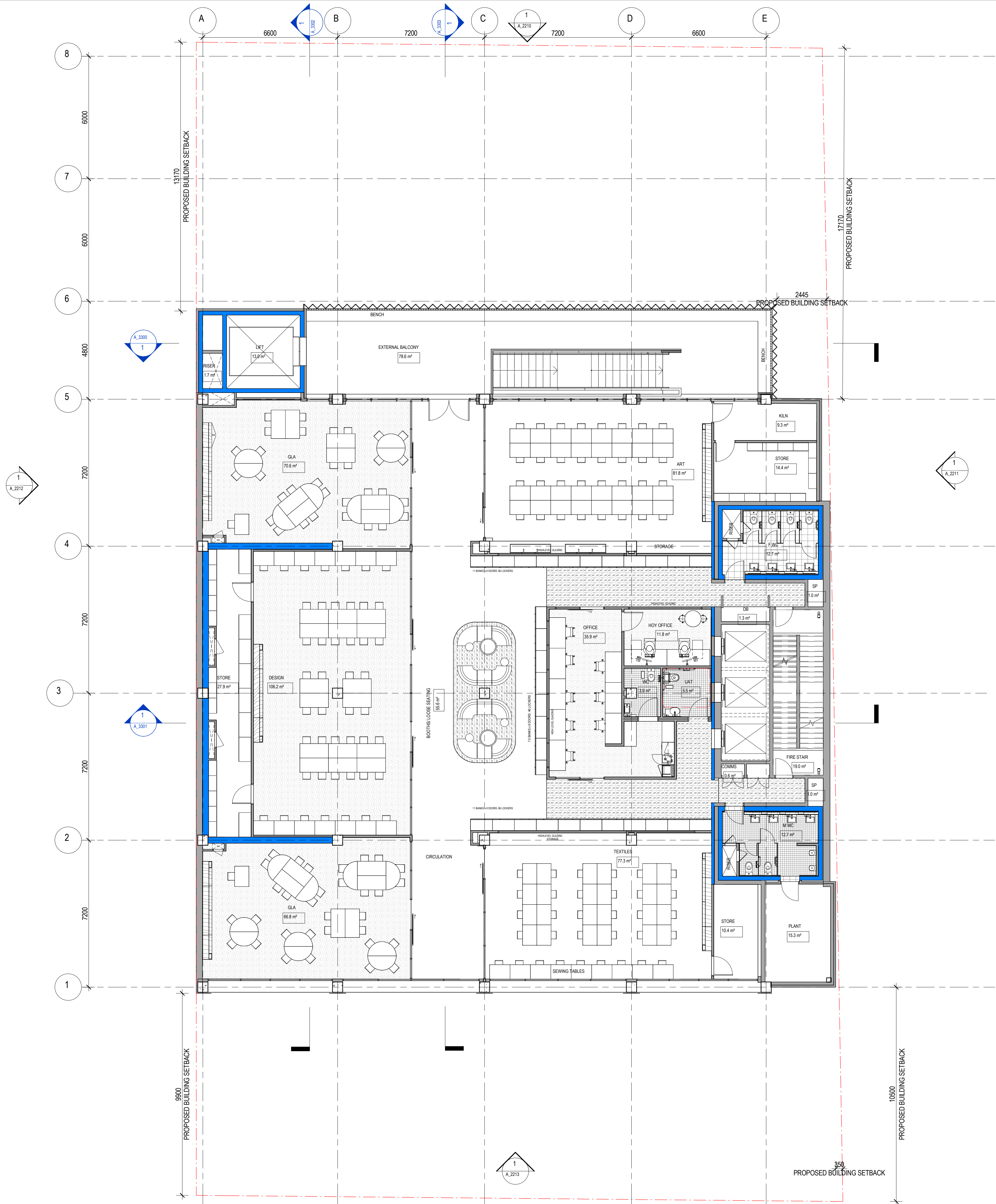
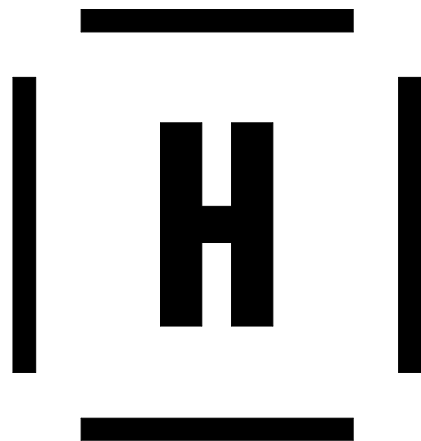
FLOOR PLAN - ROOF

REVIEWED	SCALE @ A1
AS	1 : 100
APPROVED	PROJECT NO.
DG	015881
DRAWING NO.	REV NO.
A_1112	G

City of Perth

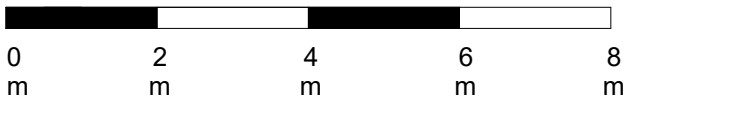
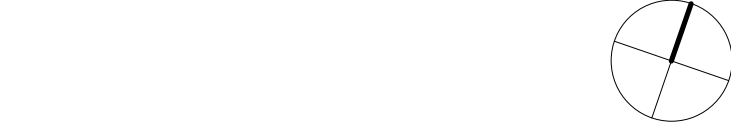
3/3/2023

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- LEGEND**
- SITE BOUNDARY
 - SEWER EASEMENT BOUNDARY
 - EXISTING WALLS
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ISSUE FOR DA APPROVAL

DRAWING TITLE

FLOOR PLAN - L09 STAGE 02

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AS

APPROVED

DG

DRAWING NO.

A_1114

SCALE @ A1

1 : 100

PROJECT NO.

015881

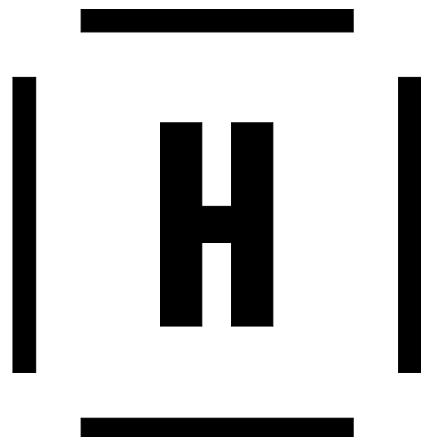
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City of Perth

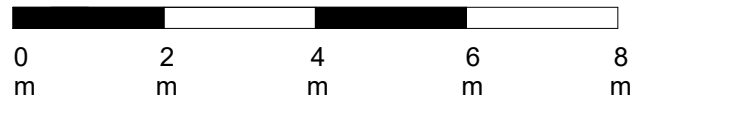
3/3/2023

Received



- LEGEND**
- SITE BOUNDARY
 - SEWER EASEMENT BOUNDARY
 - EXISTING WALLS
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B	ISSUED FOR SD	19/08/22
C	ISSUED FOR DA	07/10/22
D	ISSUE FOR COORDINATION	21/10/22
E	ISSUE FOR DA	28/10/22
F	ISSUE FOR DD	18/11/22
G	ISSUE FOR DA	03/03/23

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441 MURRAY ST, PERTH

STATUS

ISSUE FOR DA APPROVAL

DRAWING TITLE

FLOOR PLAN - L10 STAGE 02

REVIEWED

AS

APPROVED

DG

DRAWING NO.

A_1115

SCALE @ A1

1 : 100

PROJECT NO.

015881

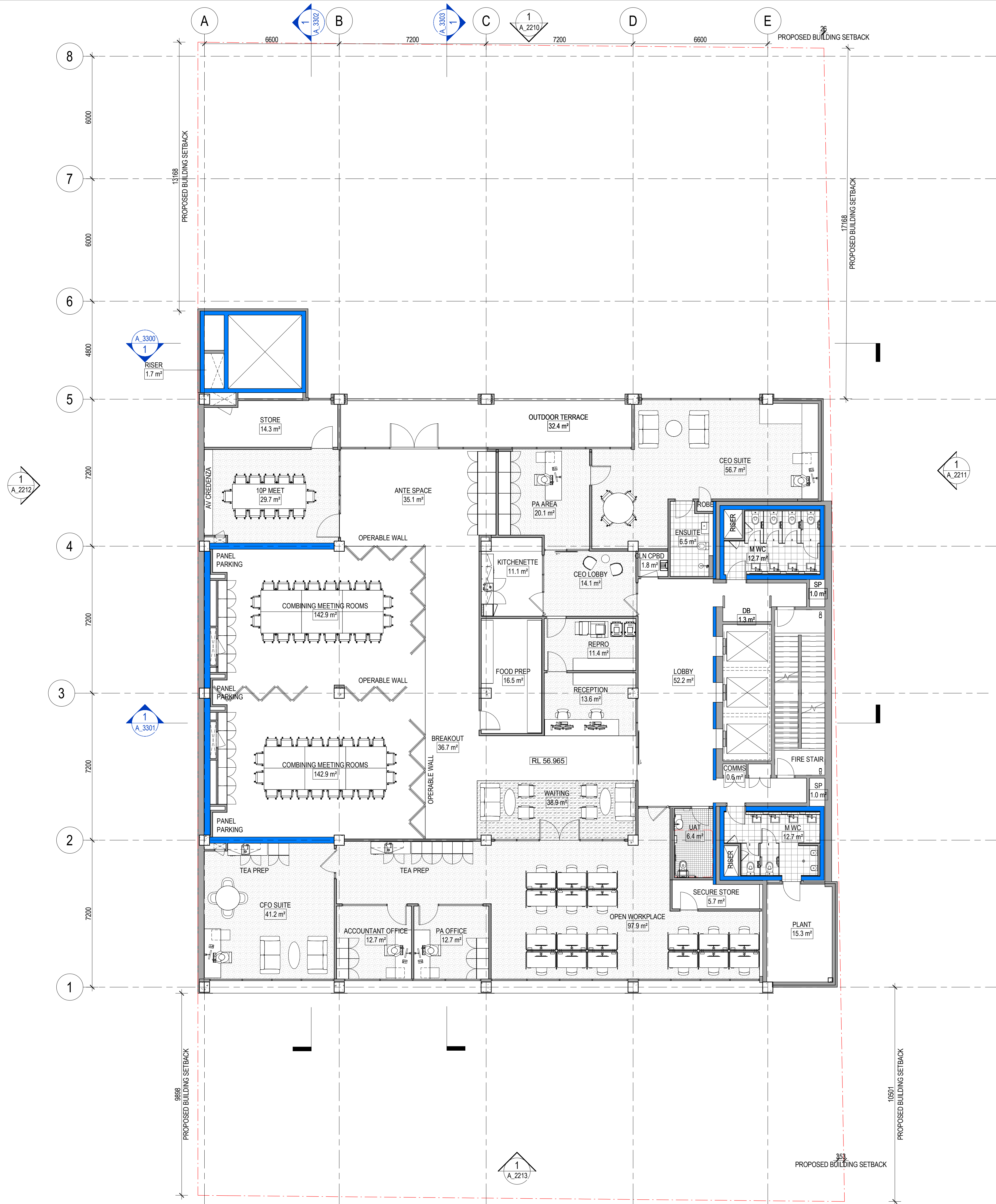
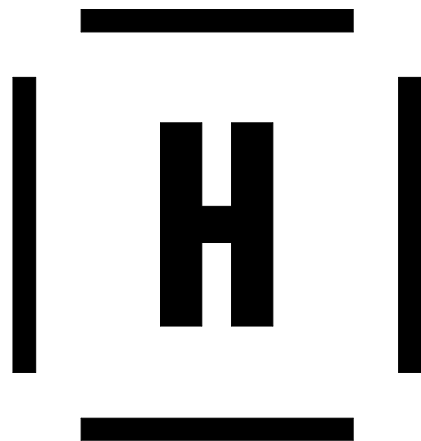
REV NO.

G

City of Perth

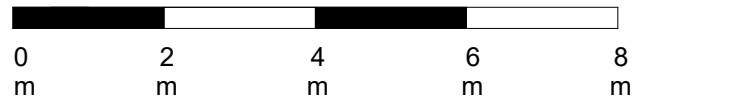
3/3/2023

Received



- LEGEND**
- SITE BOUNDARY
 - SEWER EASEMENT BOUNDARY
 - EXISTING WALLS
 - NEW WALLS
 - NEW STRUCTURAL WALLS

REFERENCE MAP



- NOTES**
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ISSUE FOR DA APPROVAL

DRAWING TITLE

FLOOR PLAN - L11 STAGE 02

REVIEWED

AS

APPROVED

DG

DRAWING NO.

A_1116

SCALE @ A1

1 : 100

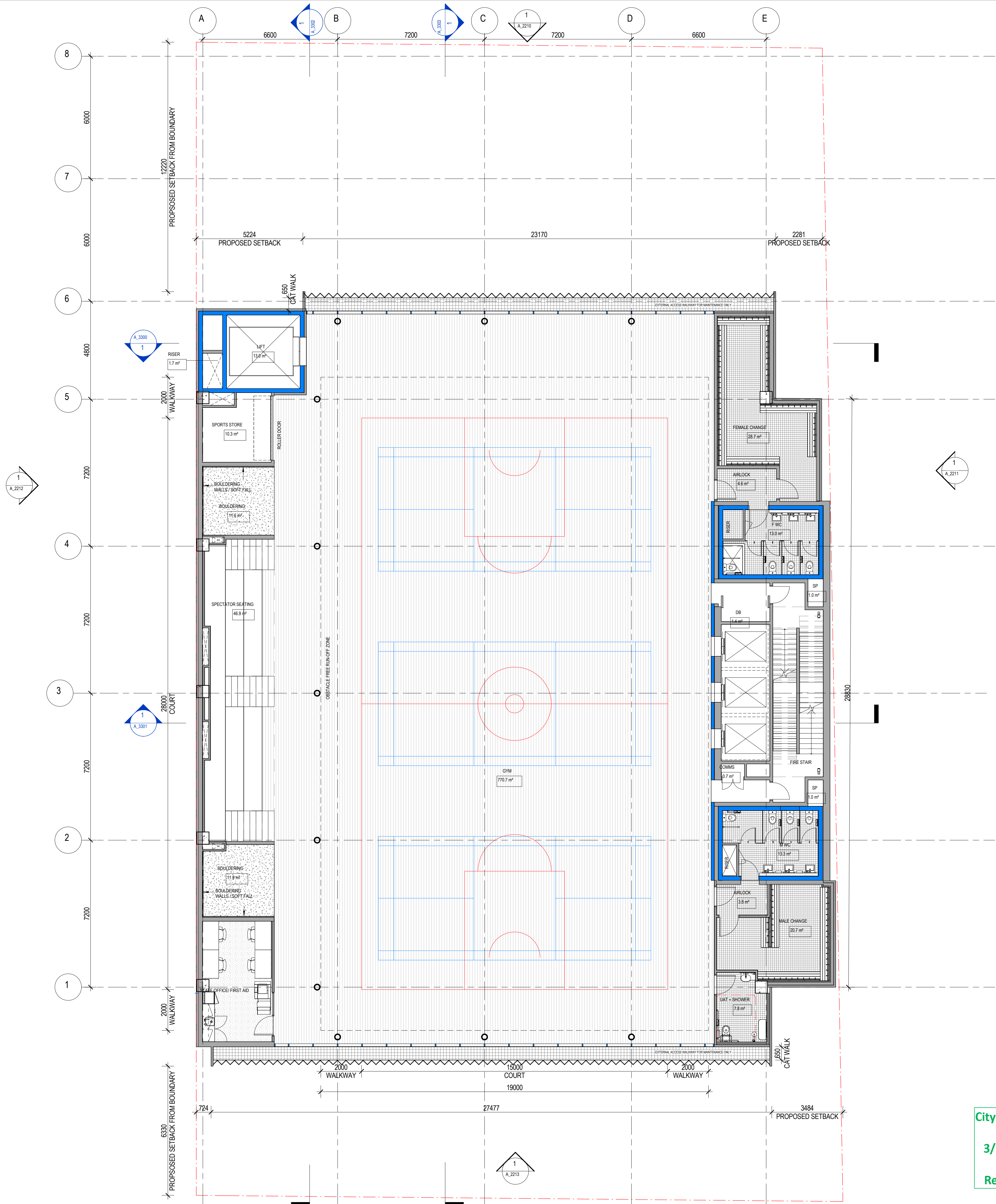
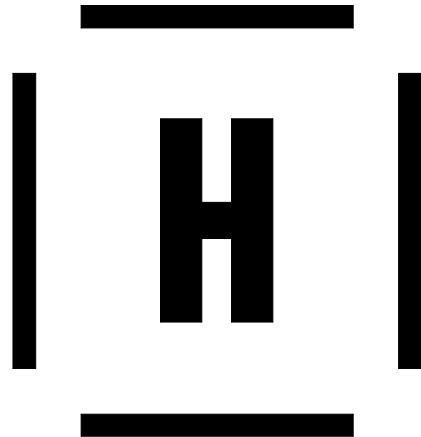
PROJECT NO.

015881

REV NO.

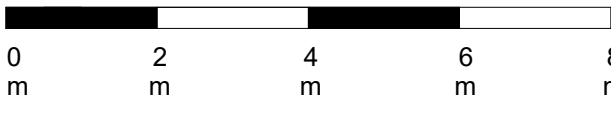
G

City of Perth
3/3/2023
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- LEGEND**
- SITE BOUNDARY
 - SEWER EASEMENT BOUNDARY
 - EXISTING WALLS
 - NEW WALLS
 - NEW STRUCTURAL WALLS

REFERENCE MAP



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G	ISSUE FOR DA	03/03/23

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ISSUE FOR DA APPROVAL

DRAWING TITLE

FLOOR PLAN - L12 STAGE 02

REVIEWED

AS

SCALE @ A1

1 : 100

APPROVED

DG

PROJECT NO.

015881

DRAWING NO.

A_1117

REV NO.

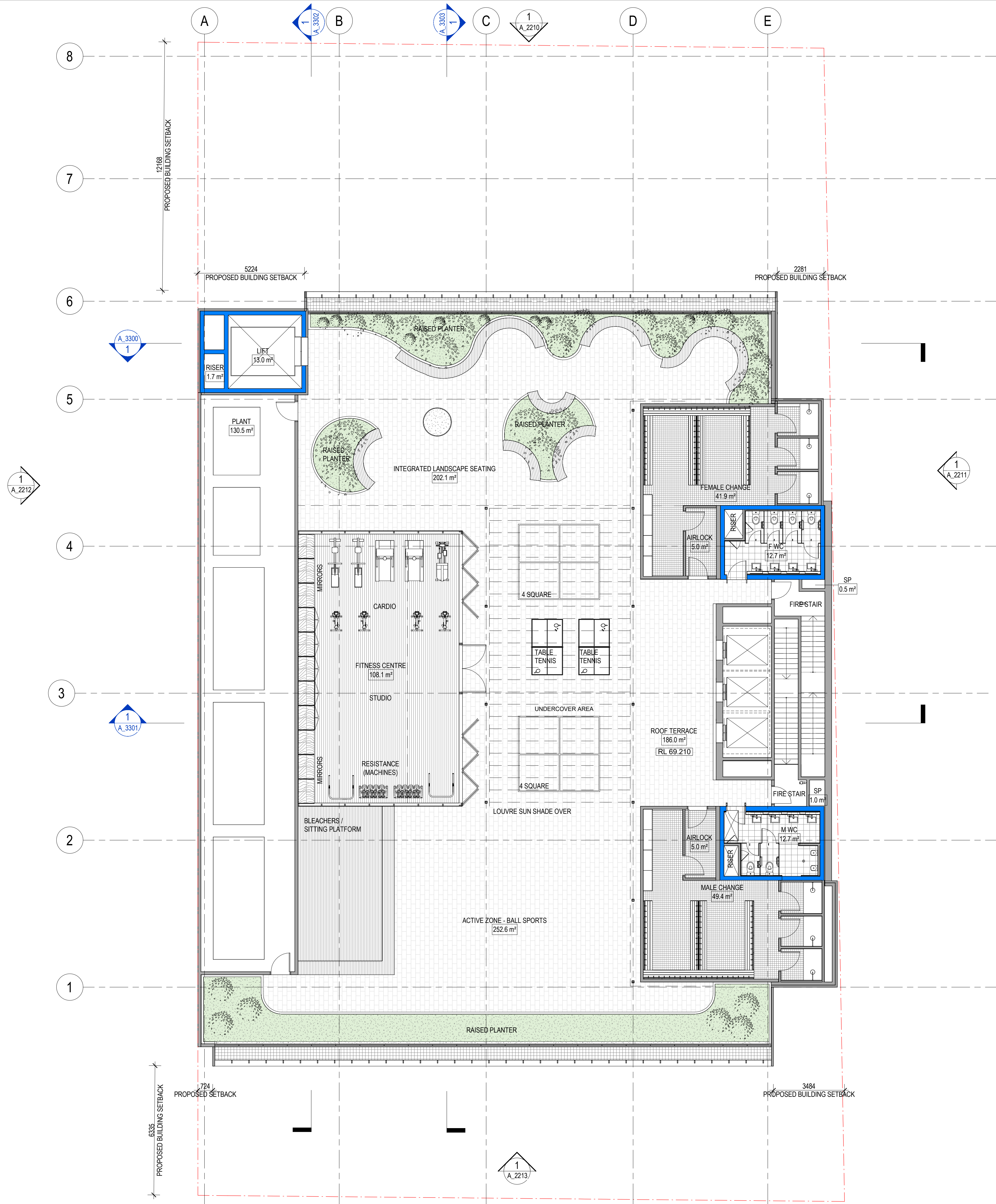
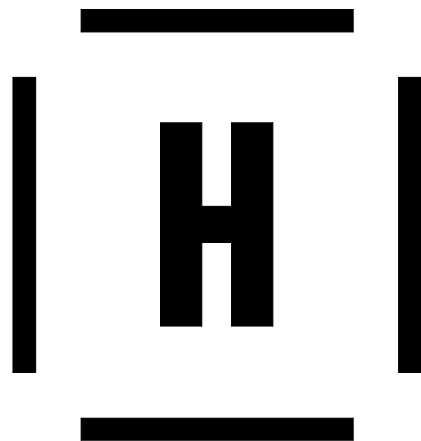
G

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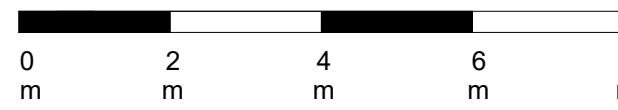
NOTE:
RED LINES = BASKETBALL COURT
BLUE LINES = BADMINTON COURT



LEGEND
--- SITE BOUNDARY
--- SEWER EASEMENT BOUNDARY
--- EXISTING WALLS
--- NEW WALLS
--- NEW STRUCTURAL WALLS

REFERENCE MAP

NORTH



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D	ISSUE FOR COORDINATION	21/10/22
E	ISSUE FOR DA	28/10/22
F	ISSUE FOR DD	18/11/22
G	ISSUE FOR DA	03/03/23

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ISSUE FOR DA APPROVAL

DRAWING TITLE

FLOOR PLAN - TERRACE STAGE 02

REVIEWED

AS

APPROVED

DG

DRAWING NO.

A_1118

SCALE @ A1

1 : 100

PROJECT NO.

015881

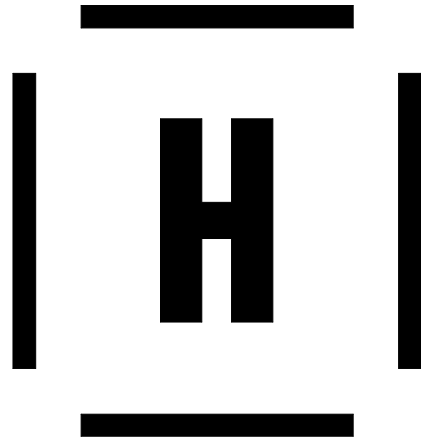
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G

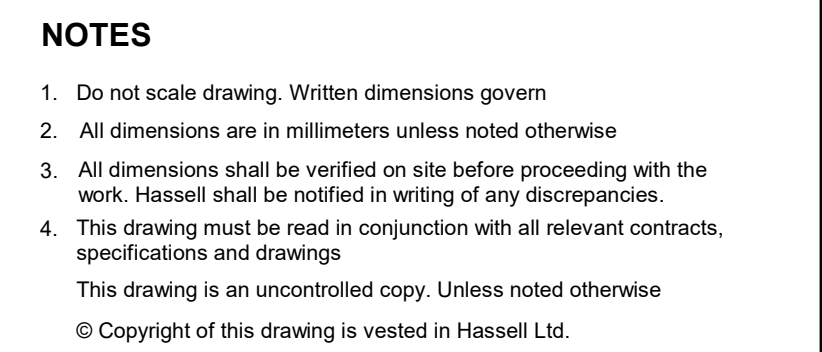
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3/3/2023
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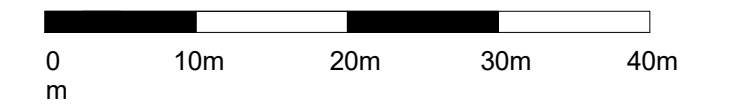
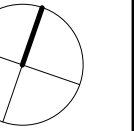
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REVIEWED	SCALE @ A1
AS	1 : 100
APPROVED	PROJECT NO.
DG	015881
DRAWING NO.	REV NO.
A 1119	G



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DRAWING TITLE
OVERSHADOWING PLAN

REVIEWED

AS

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DG

DRAWING NO.

A_1900

SCALE @ A1

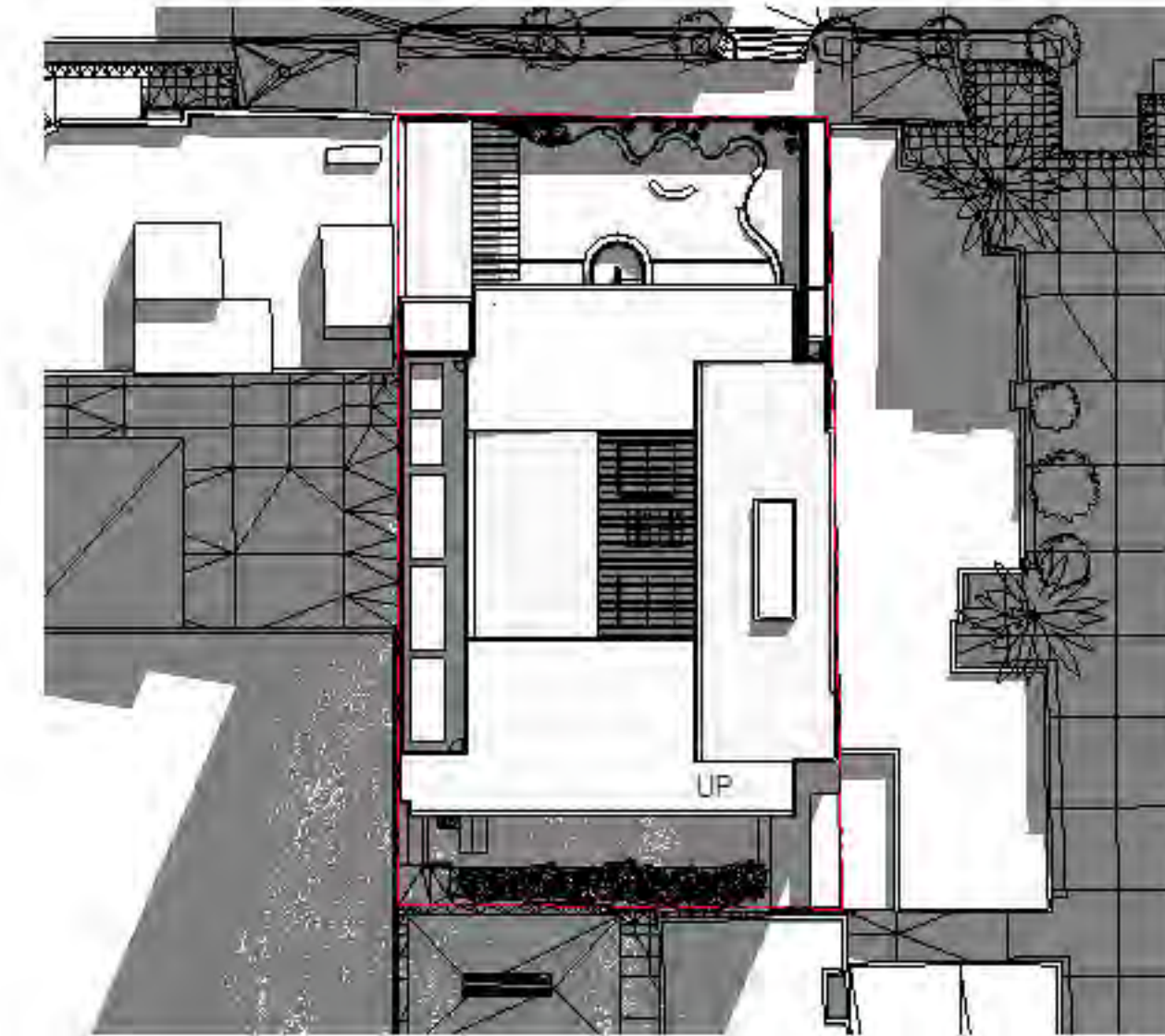
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PROJECT NO.

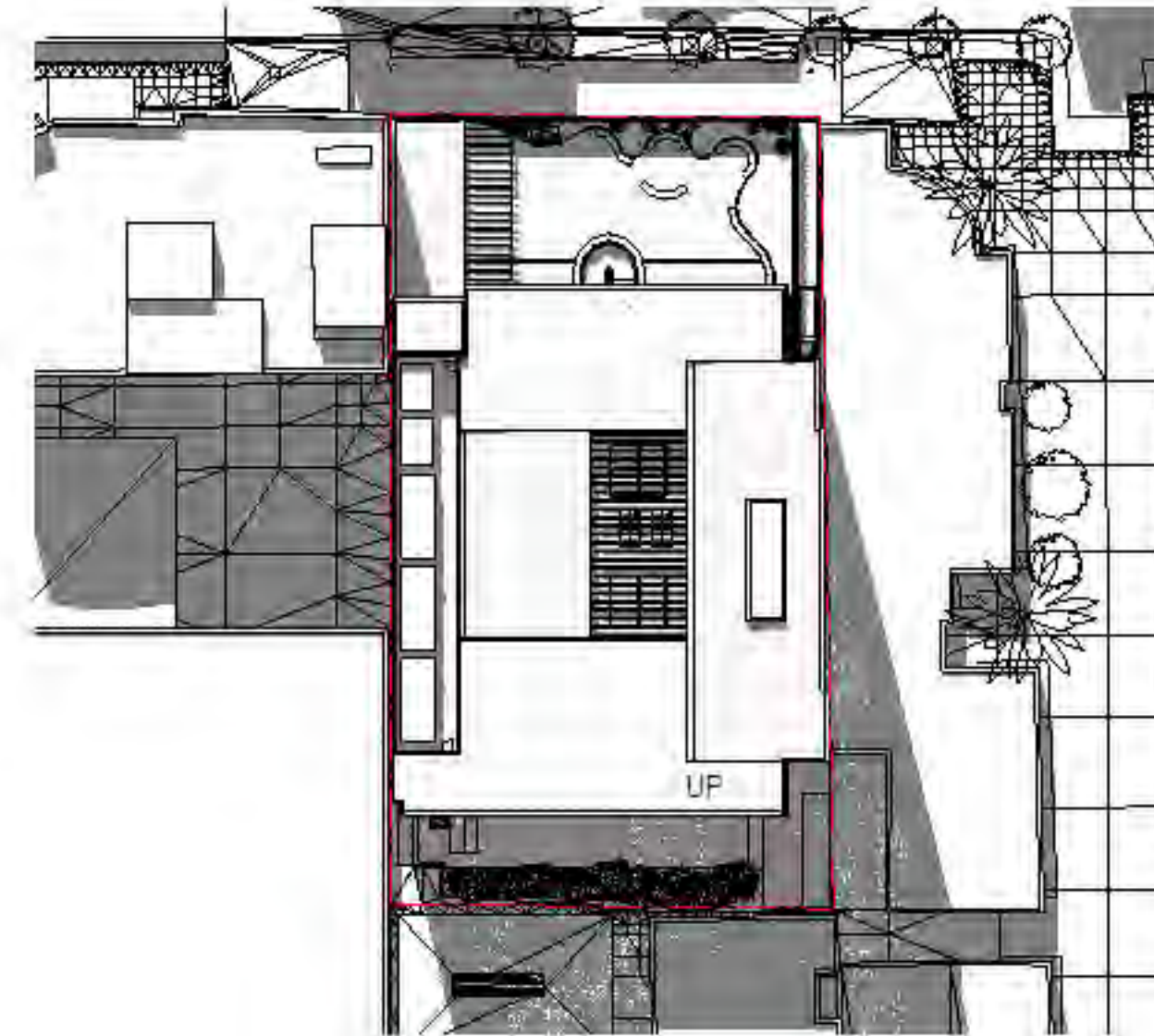
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REV NO.

B



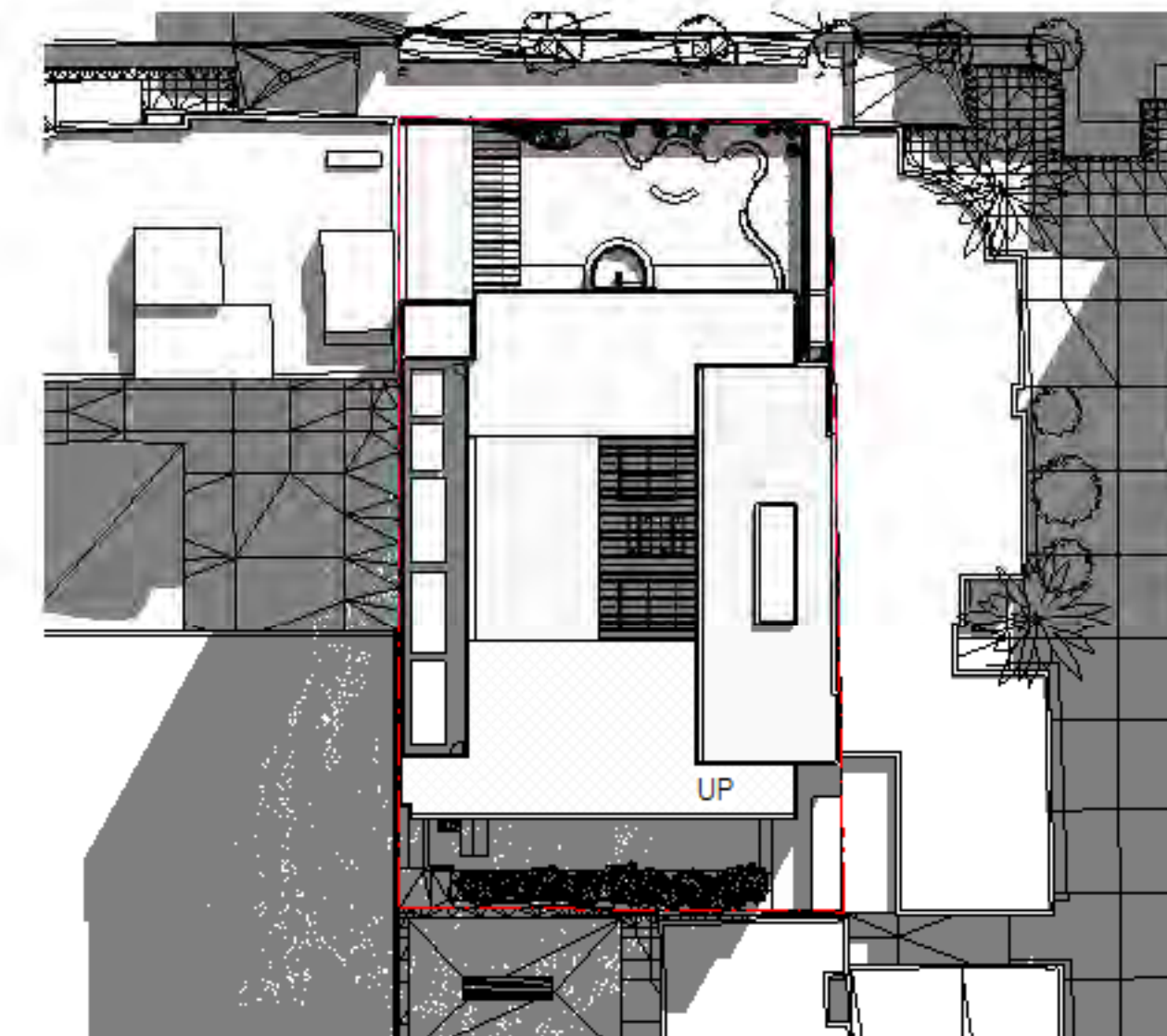
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1 : 500



2 OVERSHADOWING 22 AUG 12PM
1 : 500



3 OVERSHADOWING 22 AUG 2PM
1 : 500



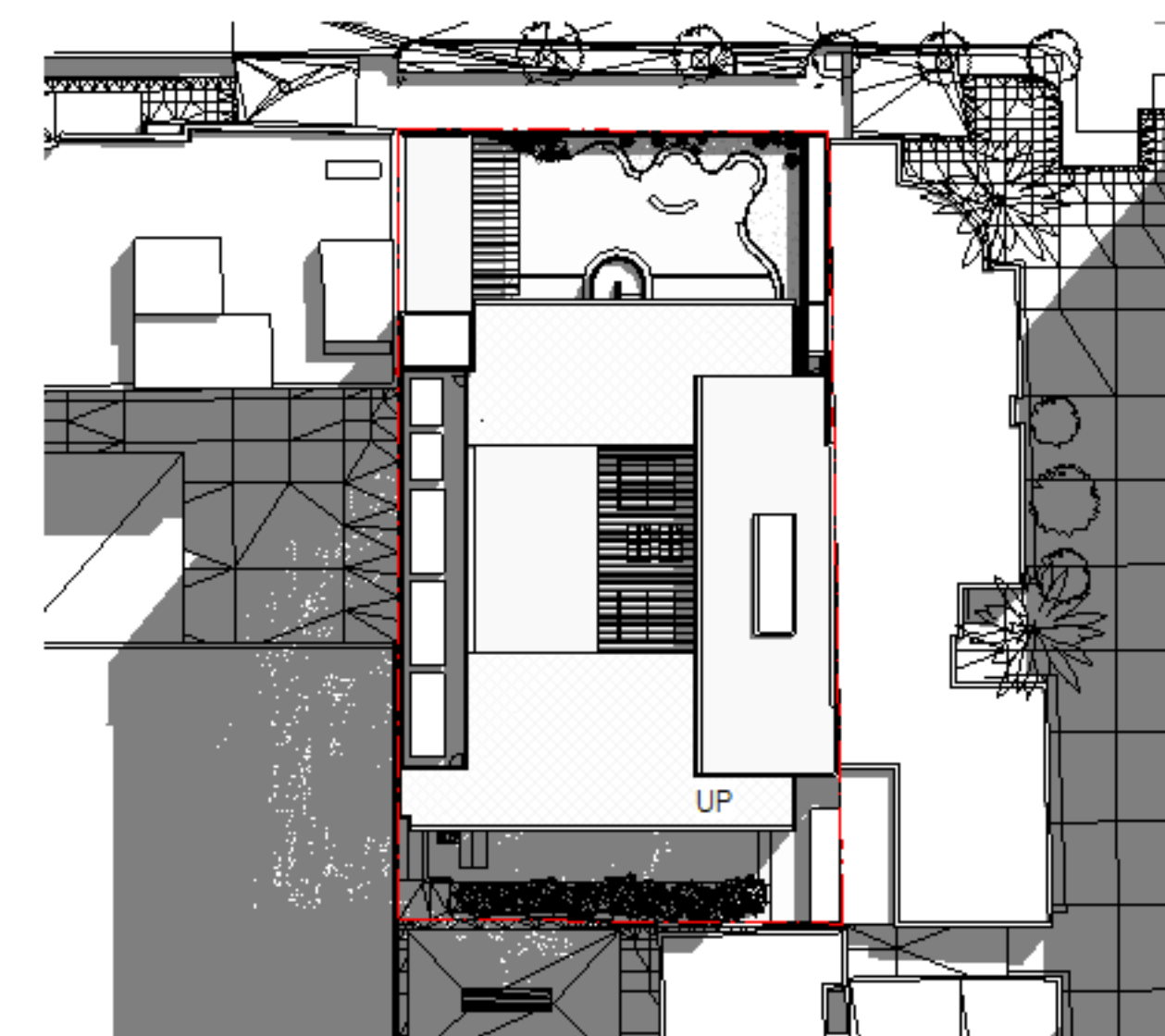
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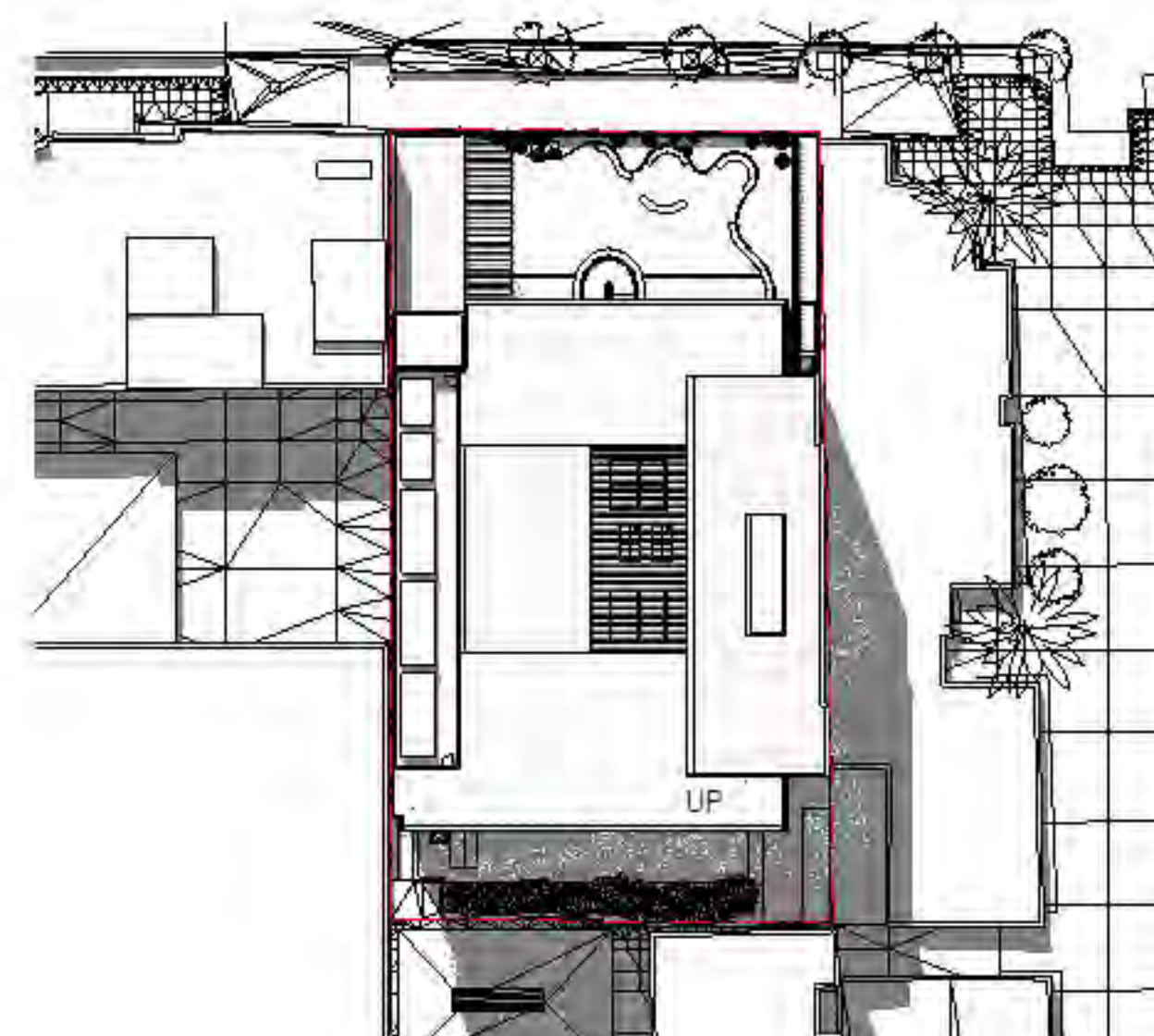
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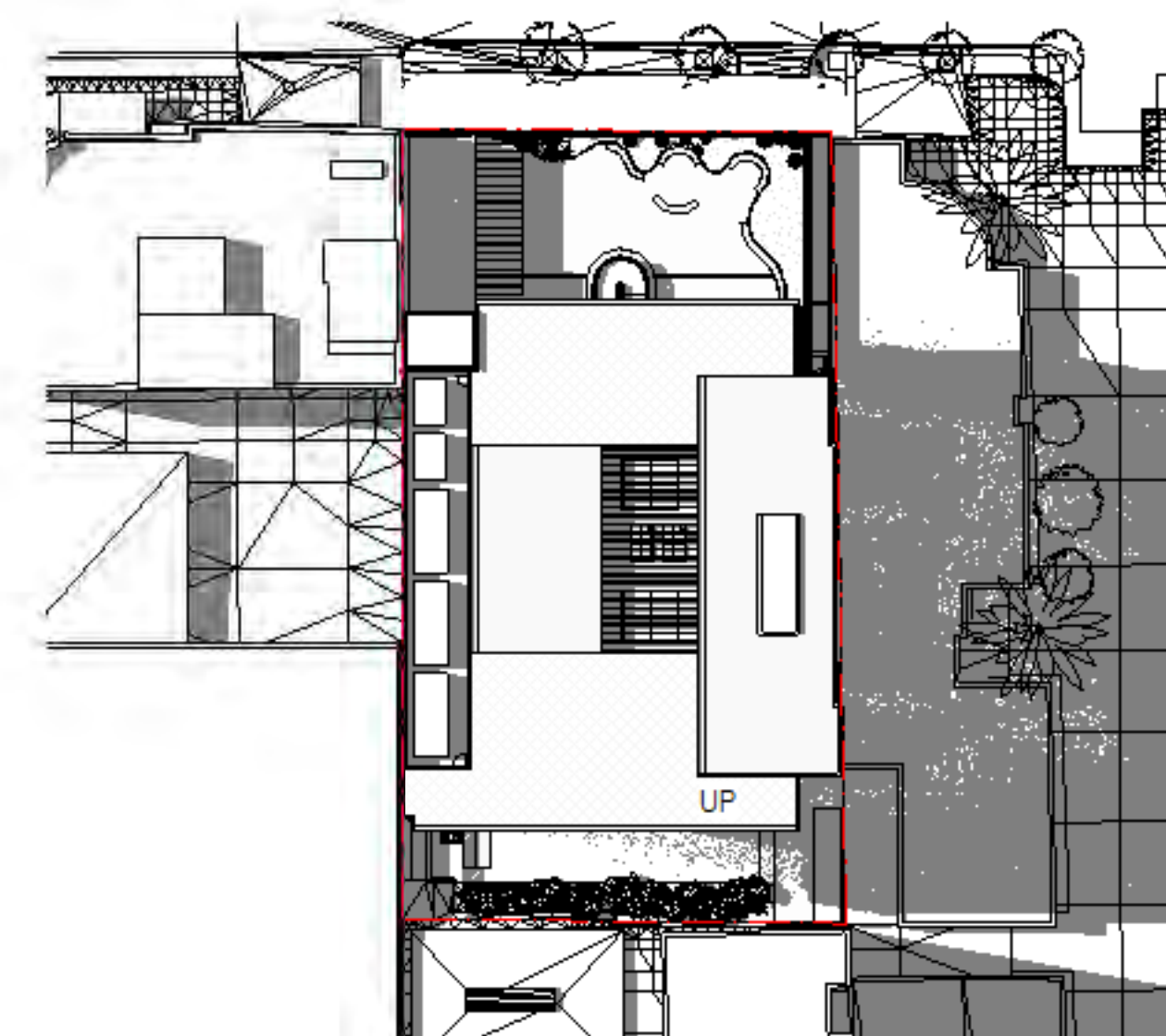
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1 : 500



7 OVERSHADOWING 22 OCT 10AM
1 : 500



8 OVERSHADOWING 22 OCT 12PM
1 : 500



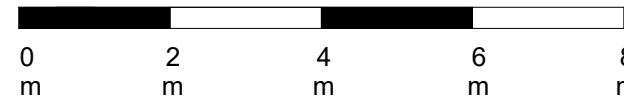
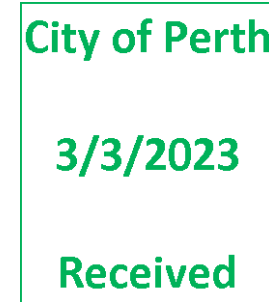
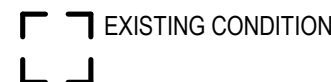
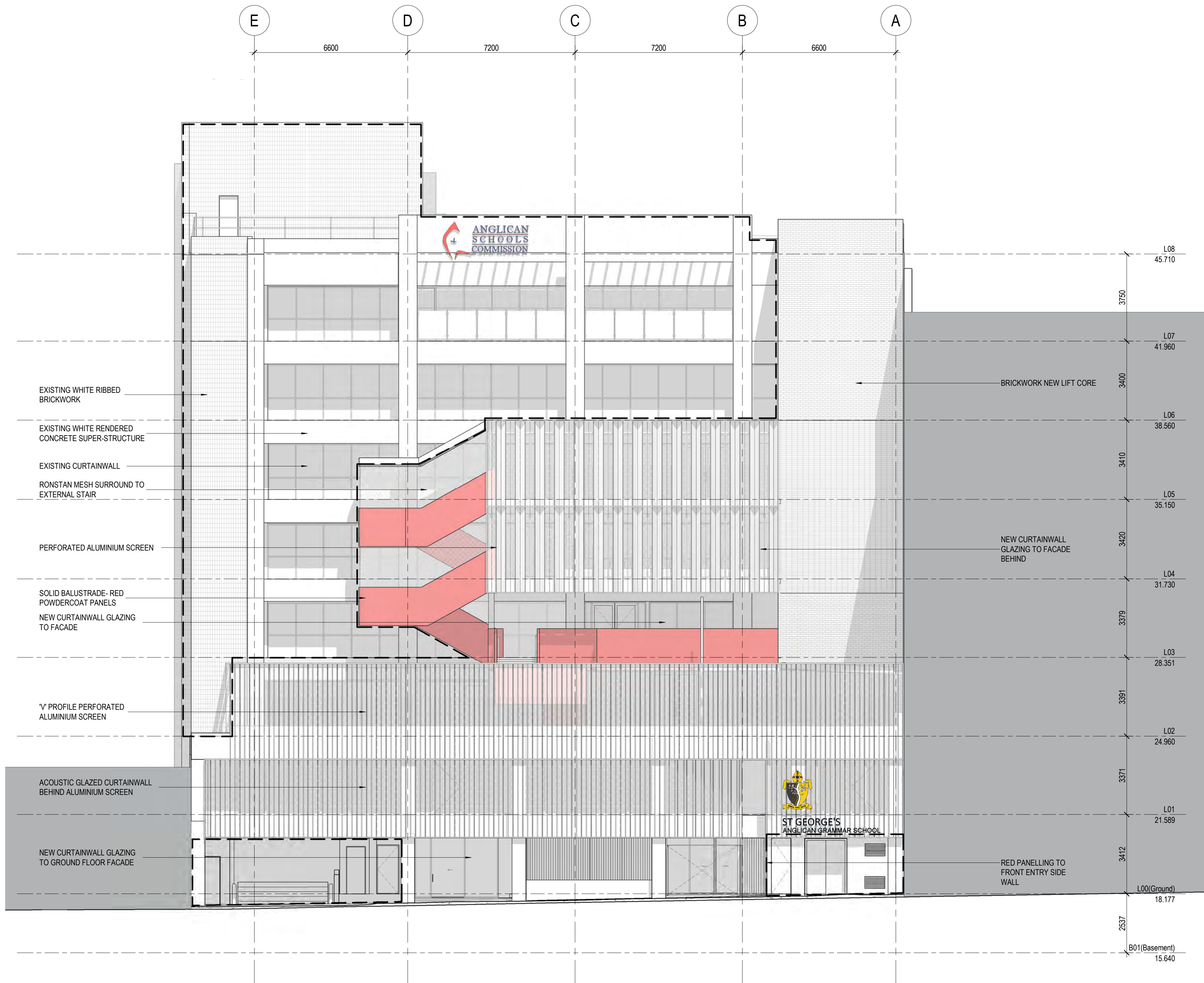
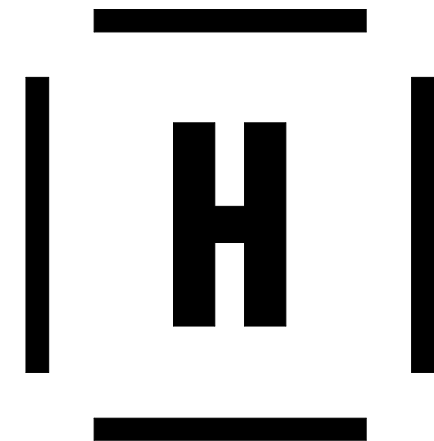
9 OVERSHADOWING 22 OCT 2PM
1 : 500

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3/3/2023

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PROJECT

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441 MURRAY ST, PERTH

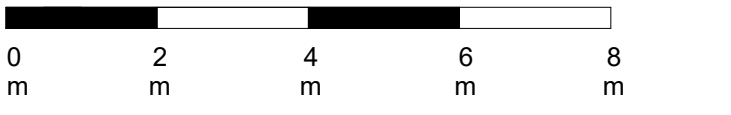
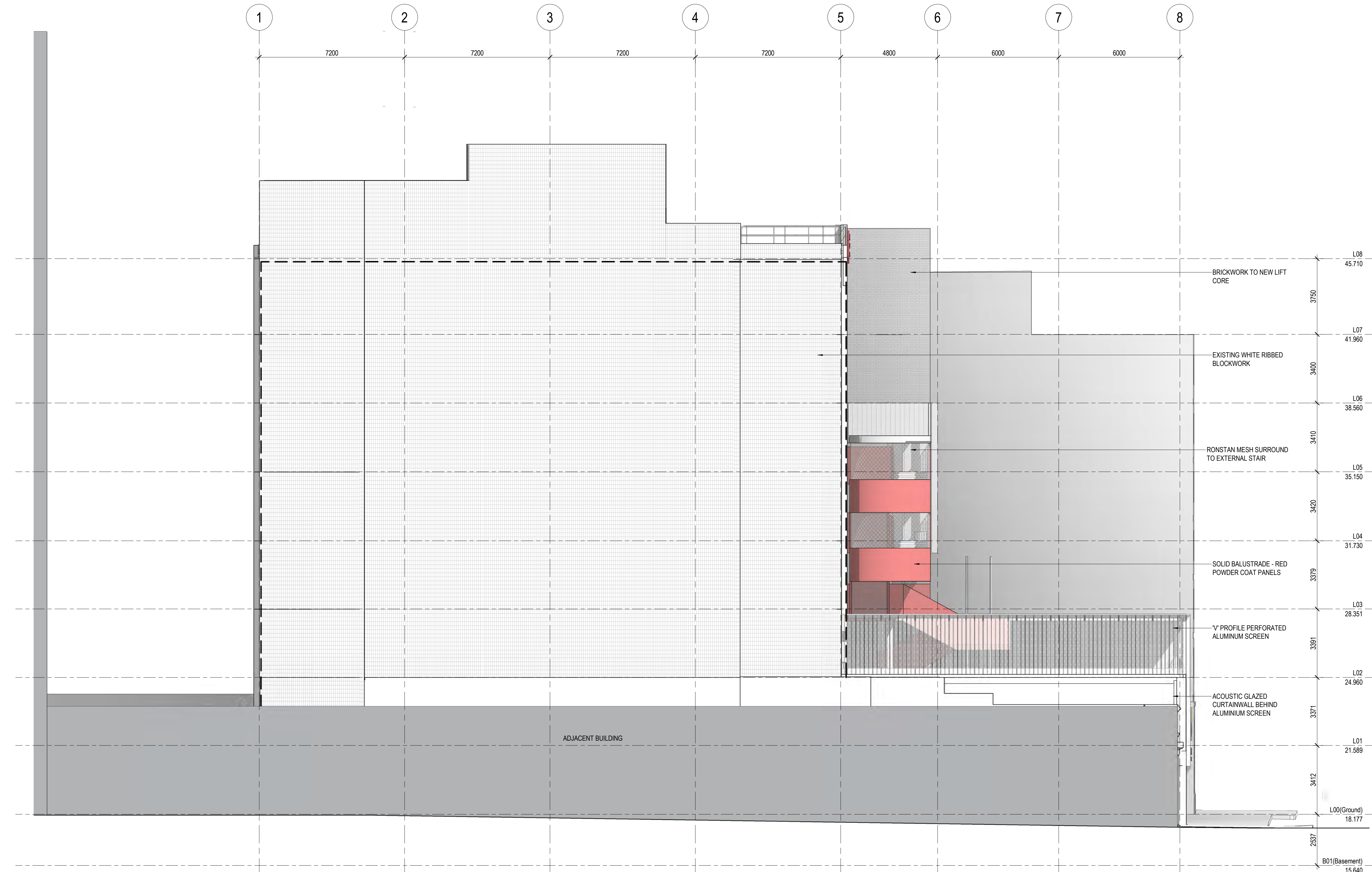
STATUS

FOR INFORMATION

DRAWING TITLE

ELEVATIONS - NORTH

REVIEWED	SCALE @ A1
AS	1 : 100
APPROVED	PROJECT NO.
DG	015881
DRAWING NO.	REV NO.
A_2200	C



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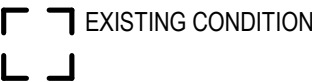
CLIENT
ASC

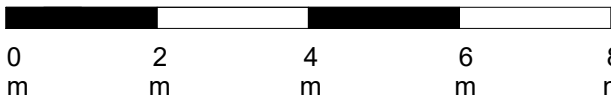
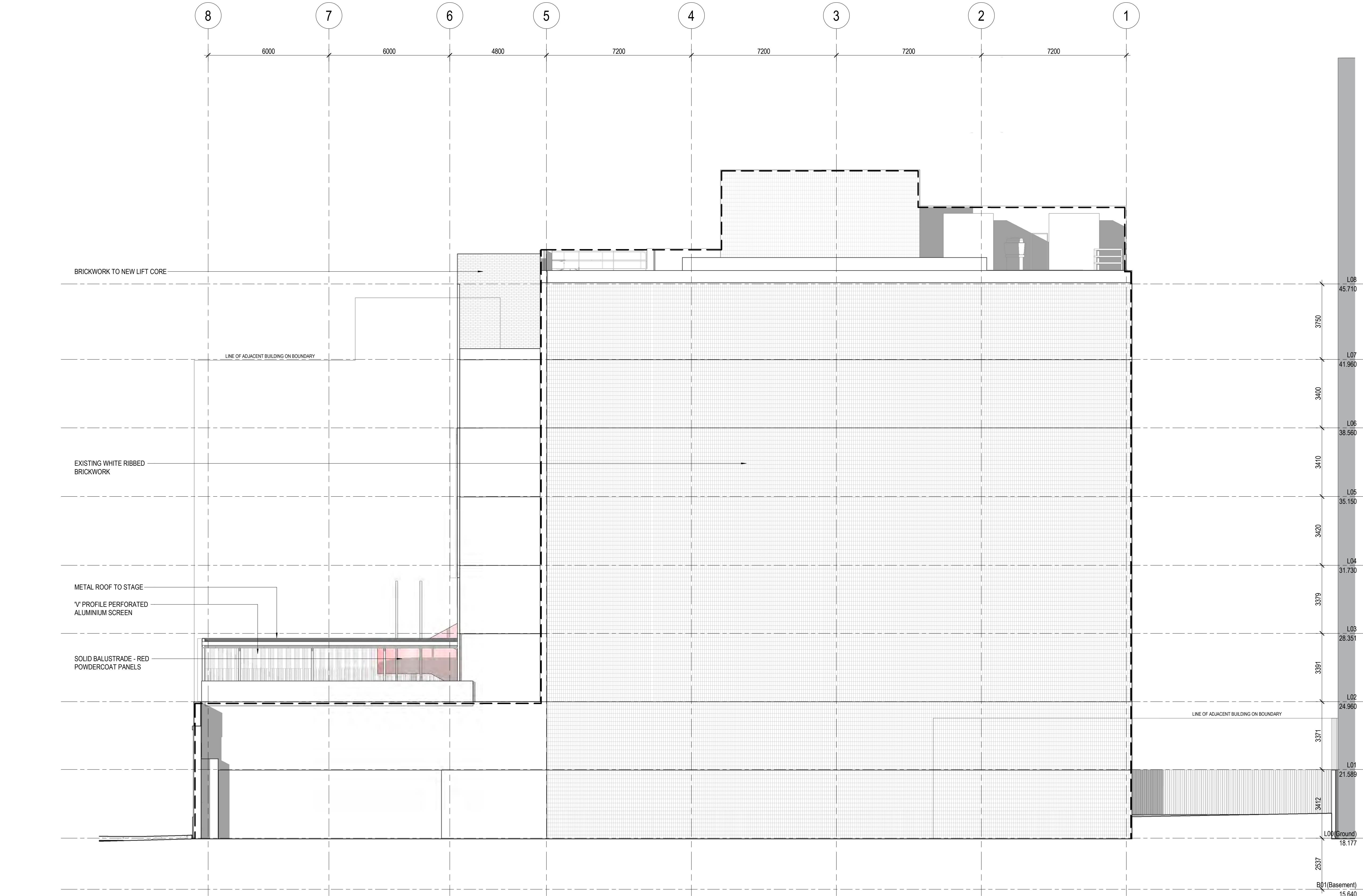
PROJECT
Anglican Schools Commission
441 MURRAY ST, PERTH

STATUS
FOR INFORMATION

DRAWING TITLE
ELEVATIONS - EAST

REVIEWED AS	SCALE @ A1 1 : 100
APPROVED DG	PROJECT NO. 015881
DRAWING NO. A_2201	REV NO. C





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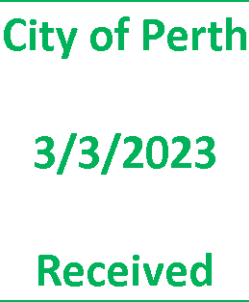
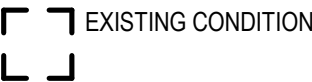
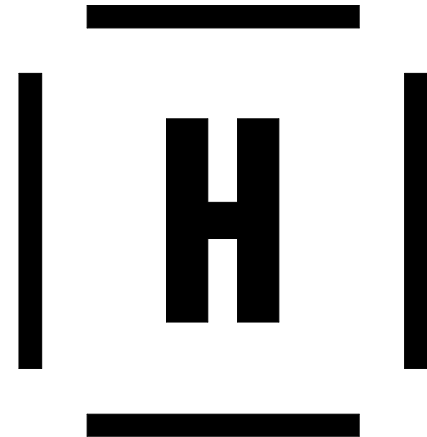
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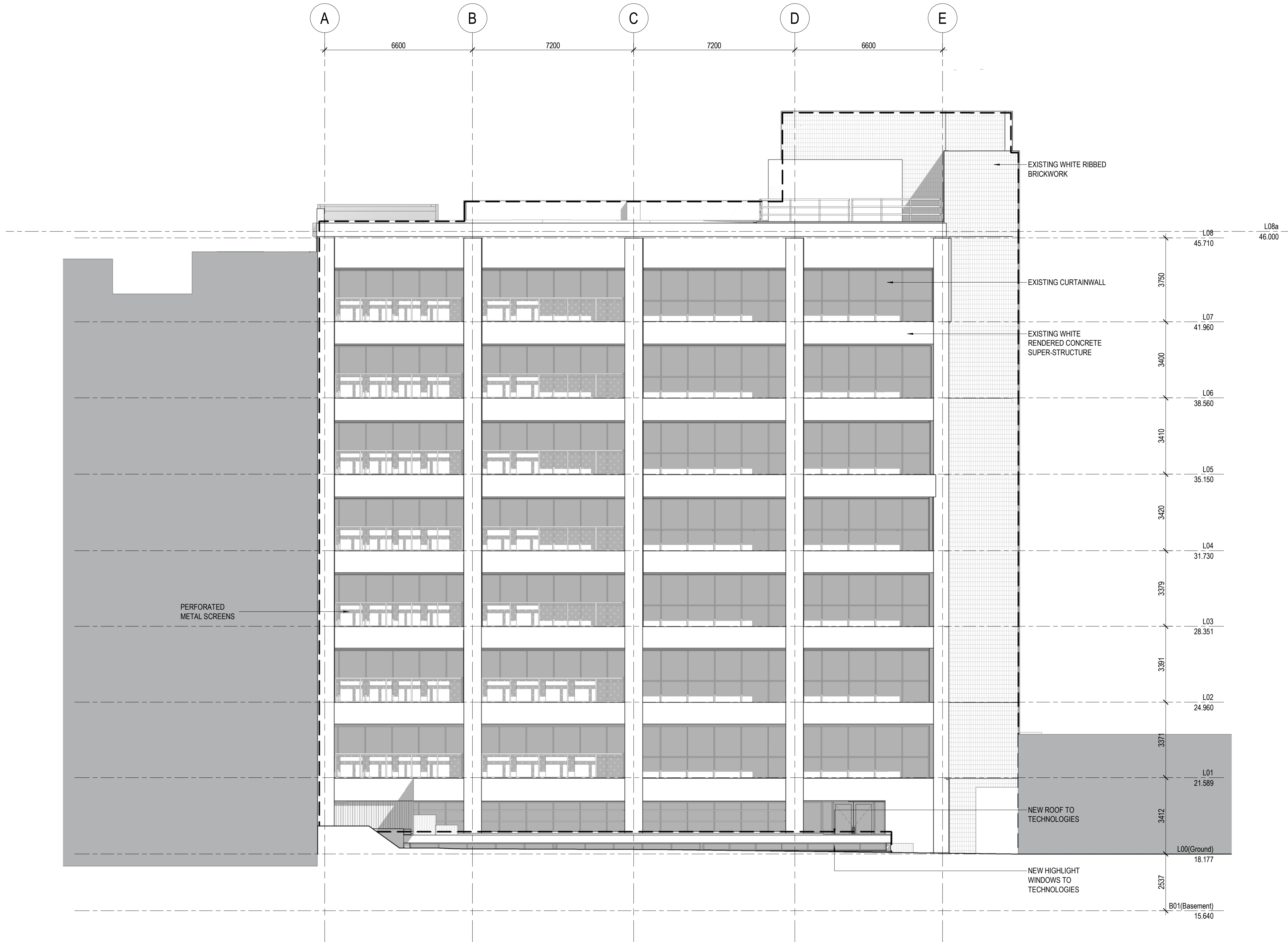
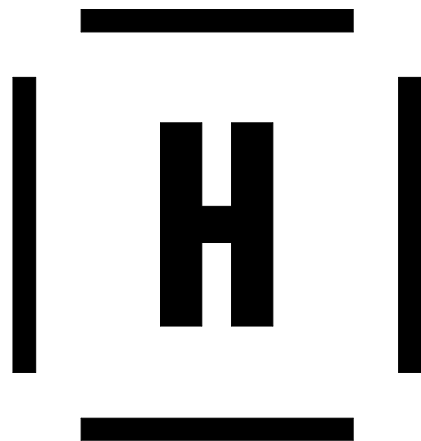
PROJECT
Anglican Schools Commission
441 MURRAY ST, PERTH

STATUS
FOR INFORMATION

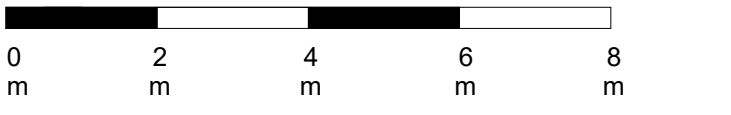
DRAWING TITLE
ELEVATIONS - WEST

REVIEWED AS	SCALE @ A1 1 : 100
APPROVED DG	PROJECT NO. 015881
DRAWING NO. A_2202	REV NO. C





REFERENCE MAP NORTH



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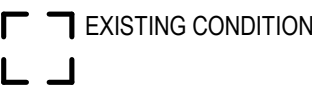
STATUS

FOR INFORMATION

DRAWING TITLE

ELEVATIONS - SOUTH

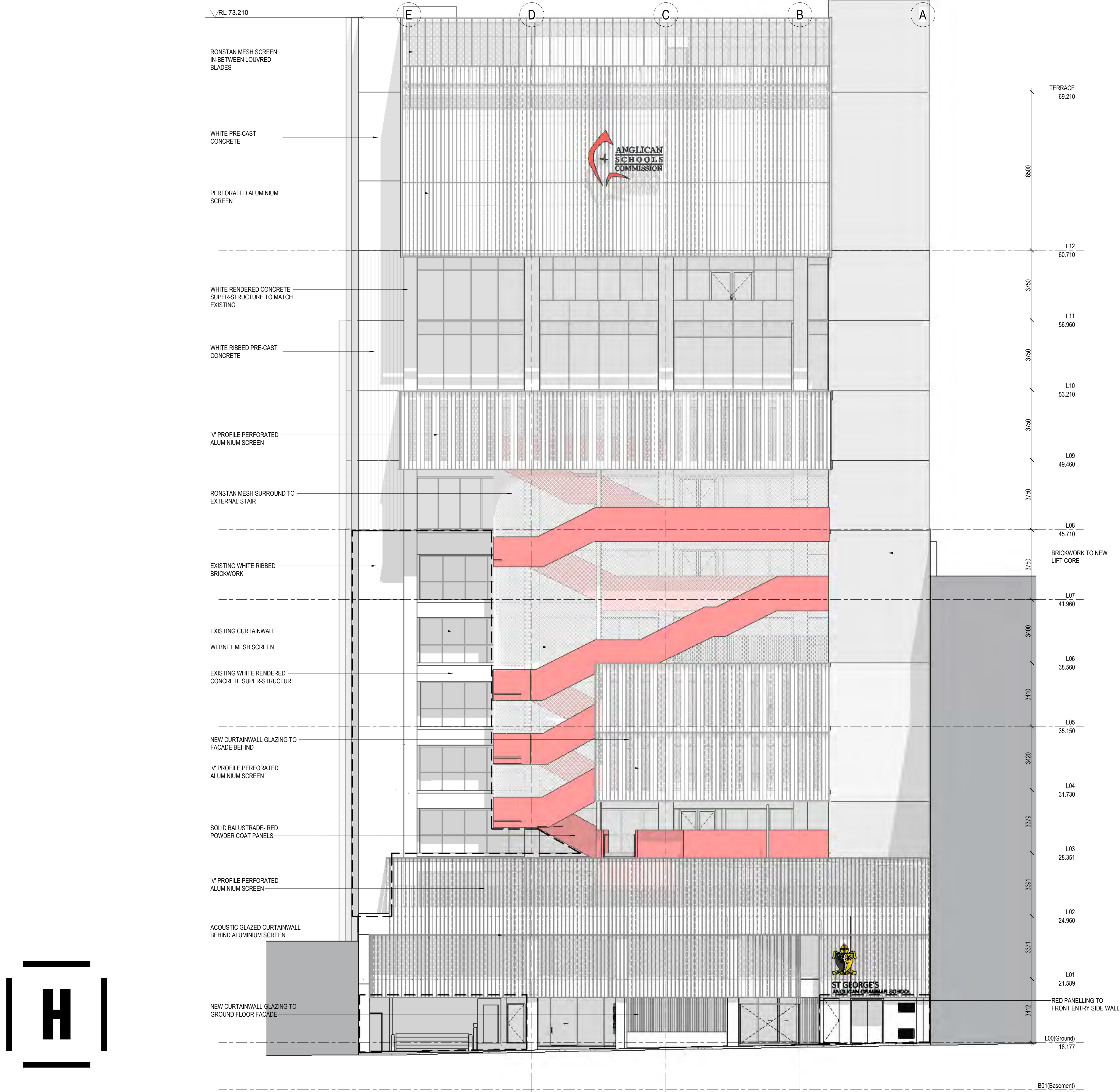
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AS	1 : 100
APPROVED	PROJECT NO.
DG	015881
DRAWING NO.	REV NO.
A_2203	C



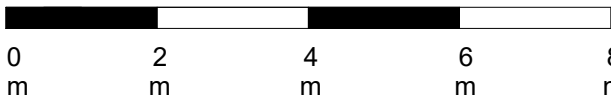
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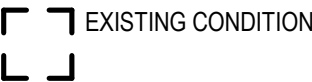
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Anglican Schools Commission
441 MURRAY ST, PERTH

STATUS
FOR INFORMATION

DRAWING TITLE
ELEVATIONS - NORTH STAGE 02

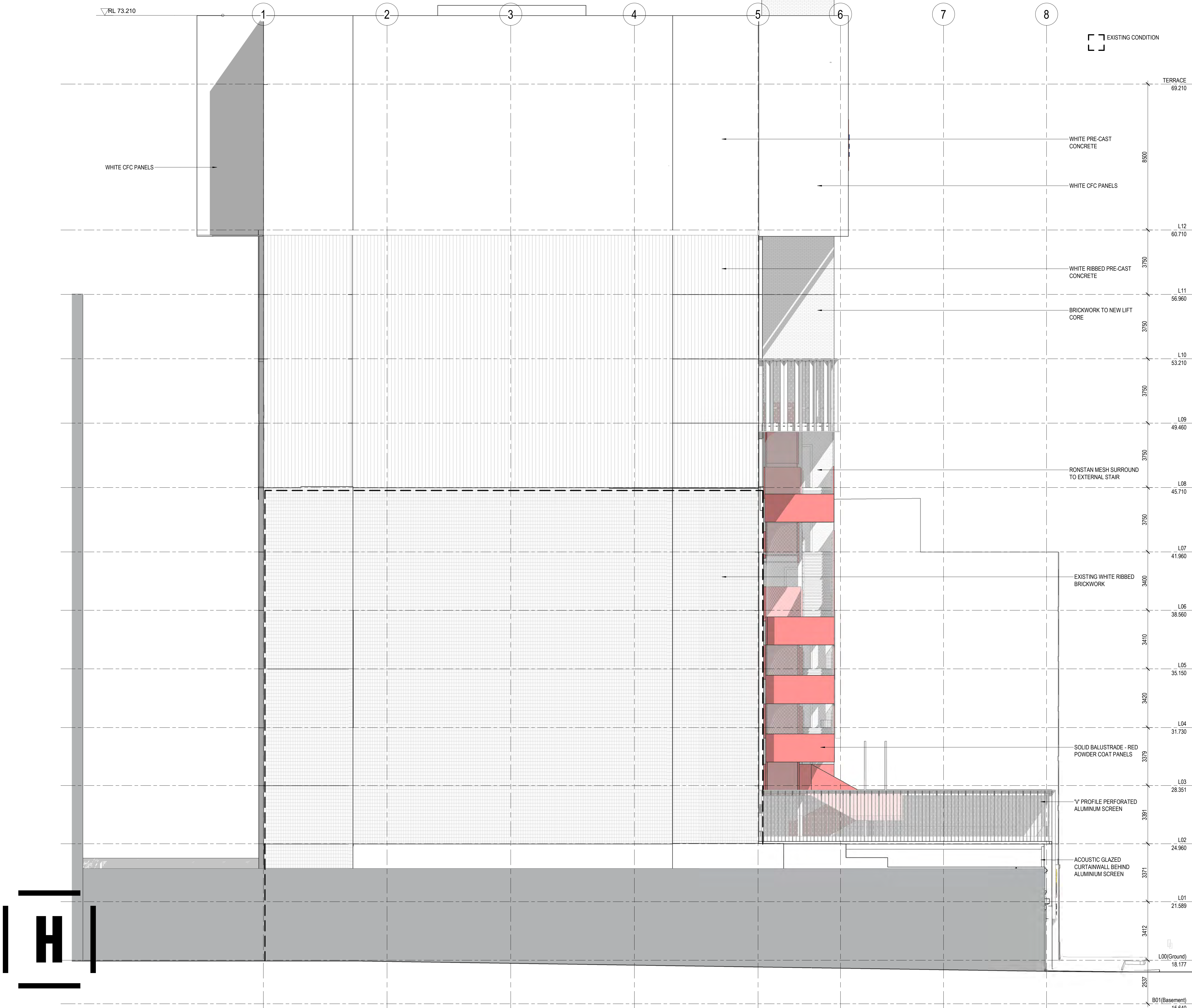
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APPROVED DG	PROJECT NO. 015881
DRAWING NO. A_2210	REV NO. C



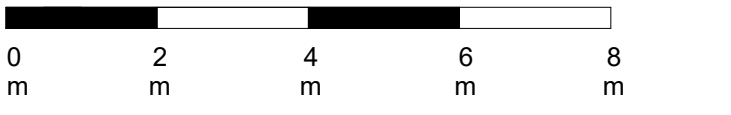
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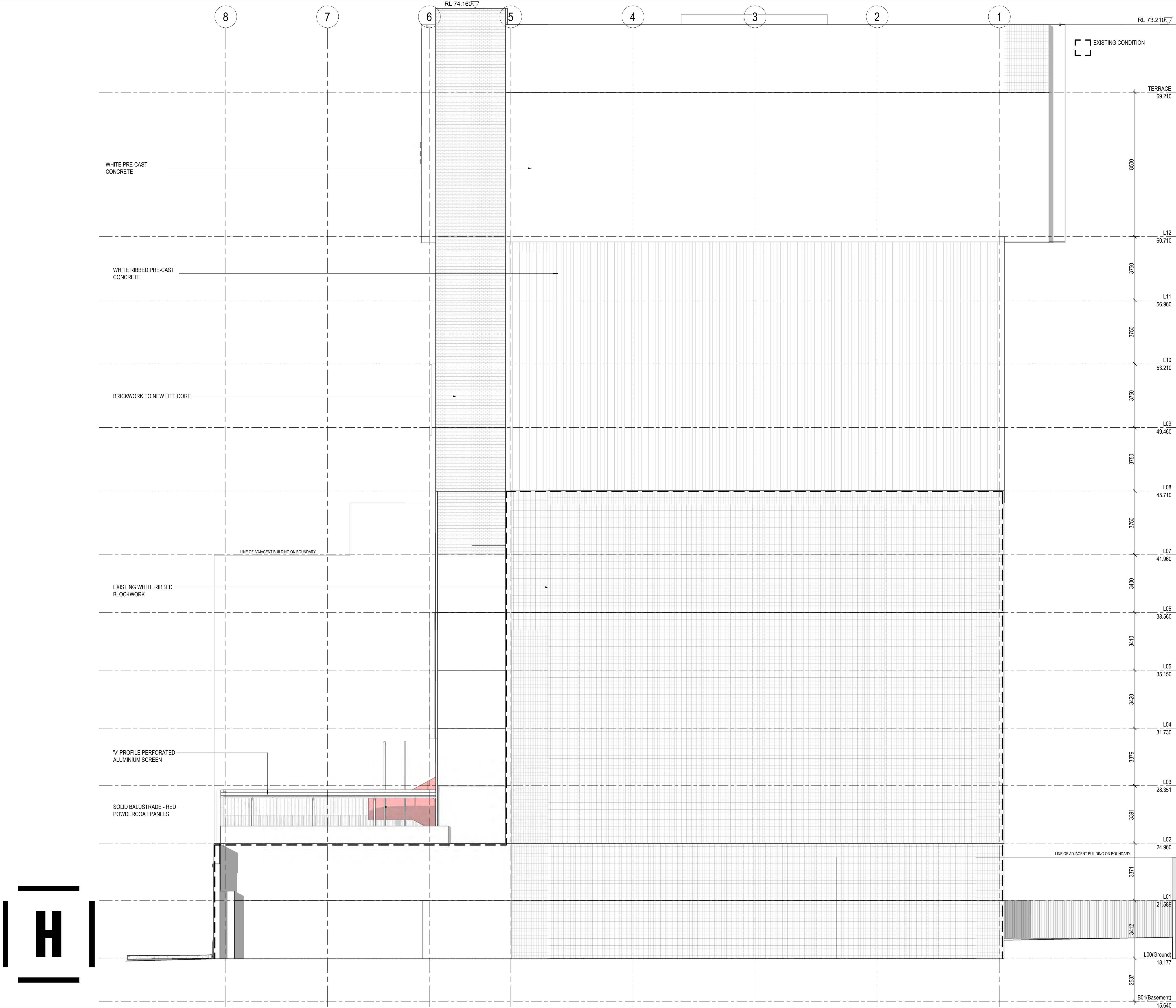
CLIENT
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PROJECT
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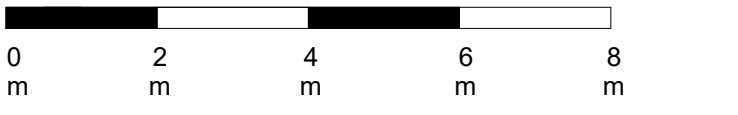
STATUS
FOR INFORMATION

DRAWING TITLE
ELEVATIONS - EAST STAGE 02

REVIEWED AS	SCALE @ A1 1 : 100
APPROVED DG	PROJECT NO. 015881
DRAWING NO. A_2211	REV NO. C



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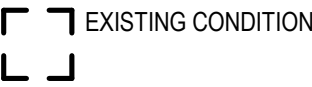
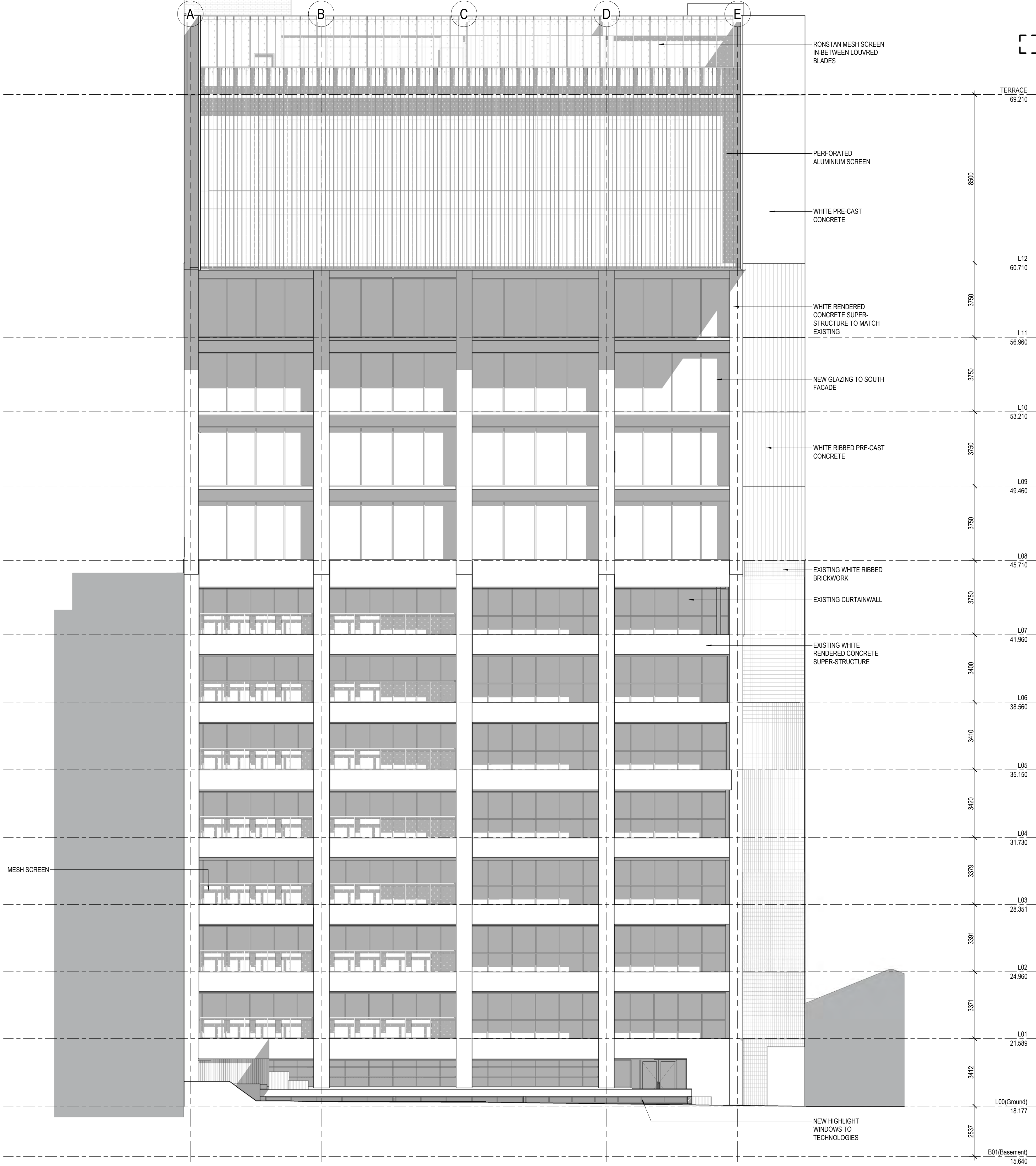
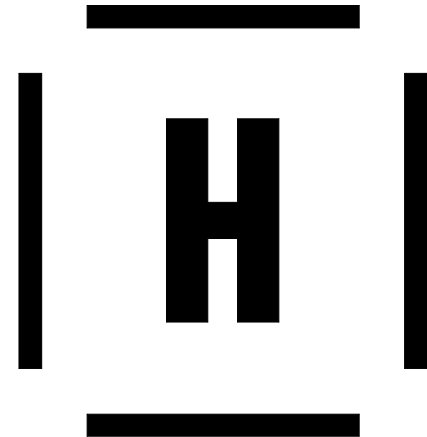
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PROJECT
Anglican Schools Commission
441 MURRAY ST, PERTH

STATUS
FOR INFORMATION

DRAWING TITLE
ELEVATIONS - WEST STAGE 02

REVIEWED AS	SCALE @ A1 1 : 100
APPROVED DG	PROJECT NO. 015881
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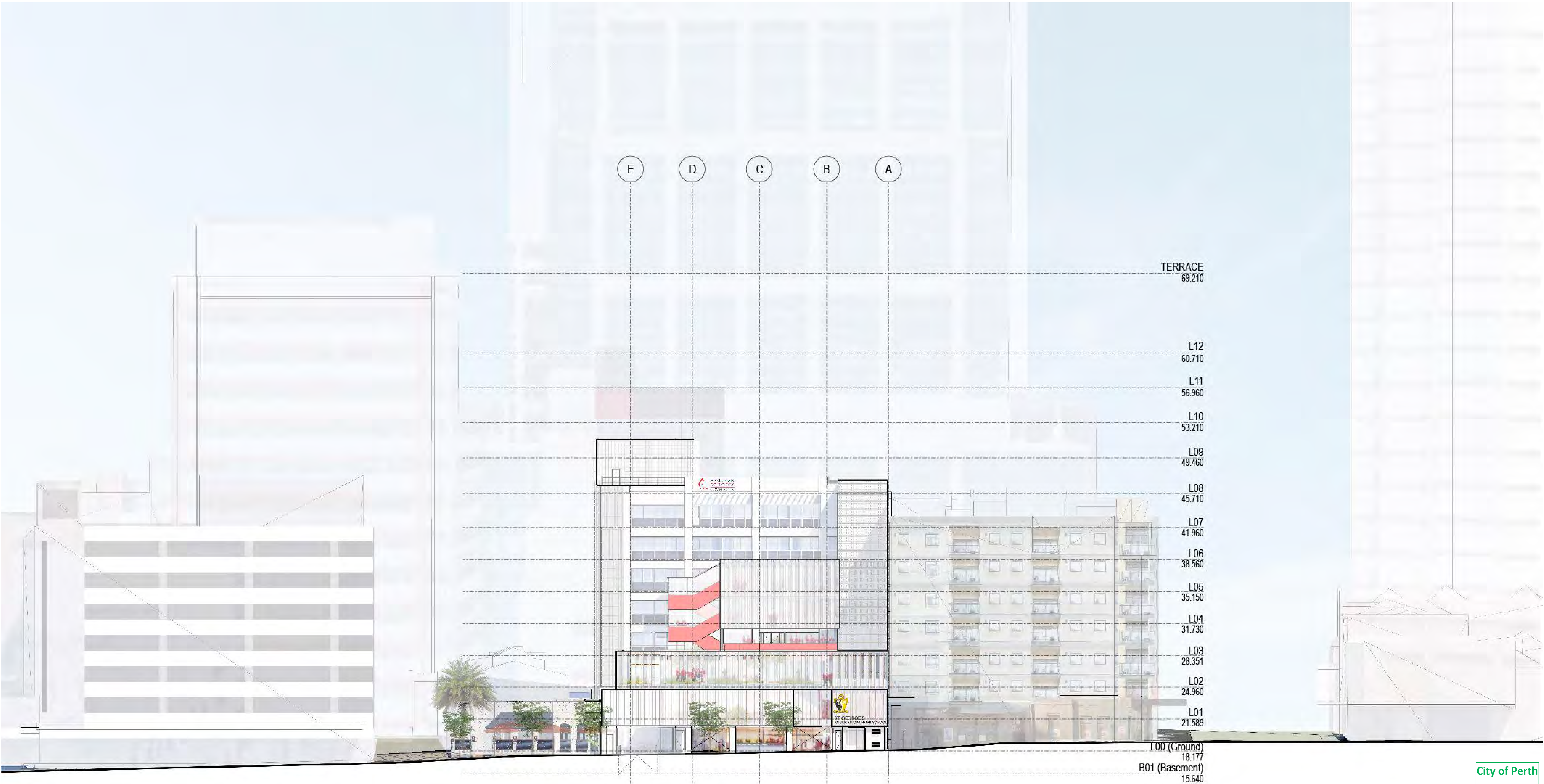
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441 MURRAY ST, PERTH

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DRAWING TITLE
ELEVATIONS - SOUTH STAGE 02

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DRAWING NO. A_2213	REV NO. C



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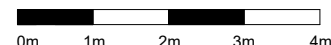
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DRAWING TITLE

ELEVATIONS - STREETSCAPE - NORTH

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A_2300

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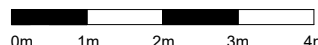
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ELEVATIONS - STREETScape - NORTH
STAGE 02

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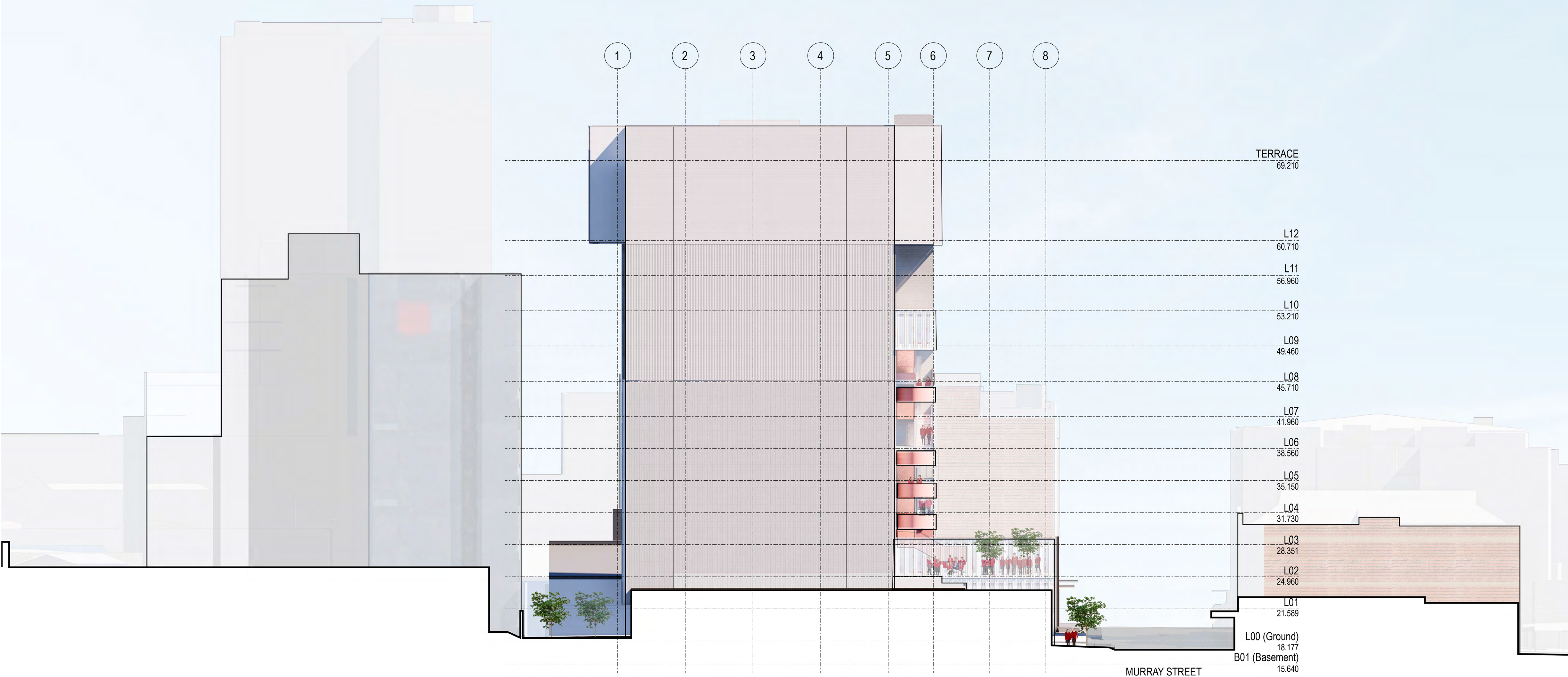
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A_2301

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441 MURRAY ST, PERTH

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DRAWING TITLE

ELEVATIONS - STREETScape - EAST STAGE
02

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A_2304

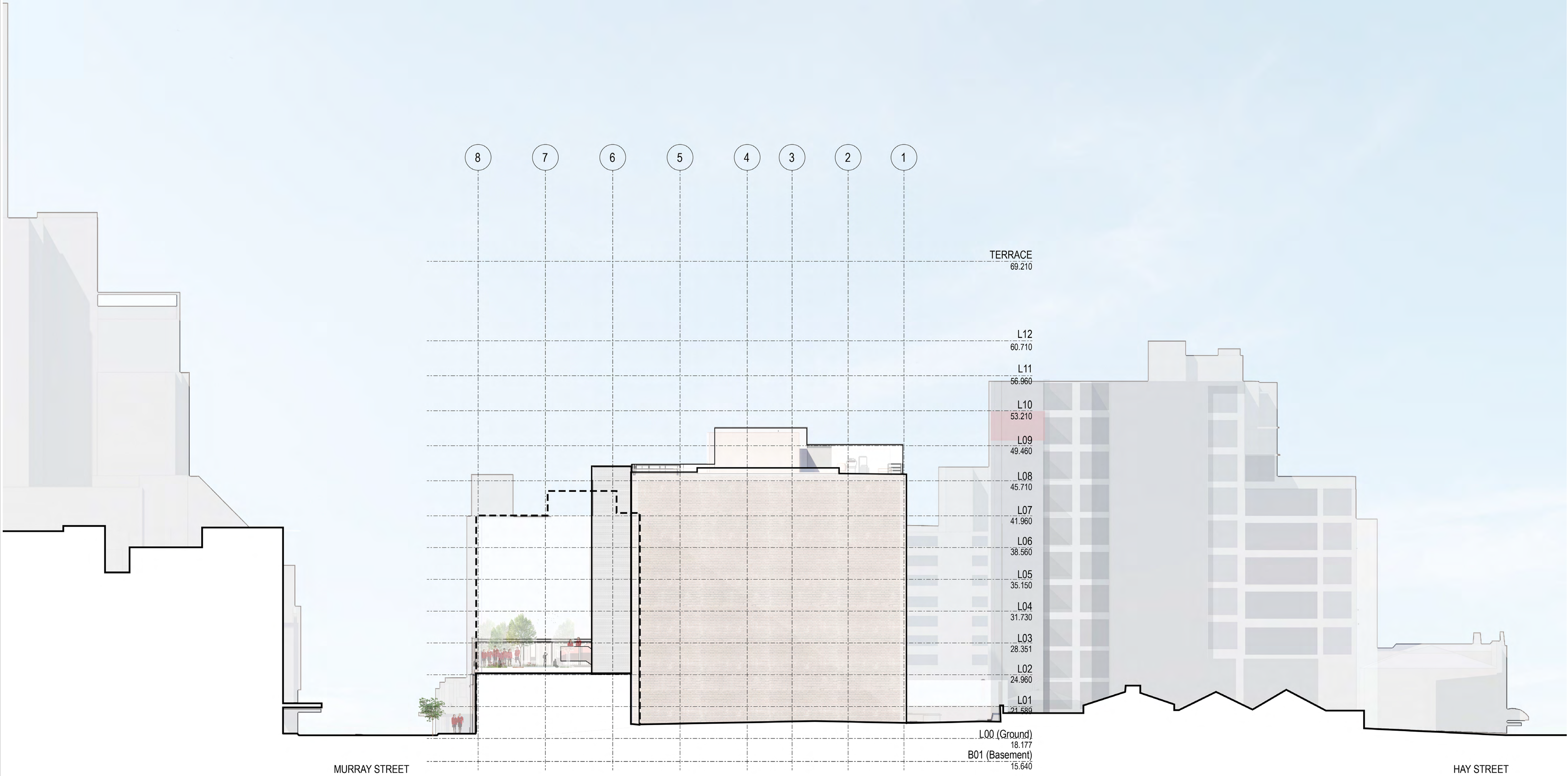
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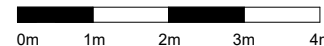
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441 MURRAY ST, PERTH

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DRAWING TITLE

ELEVATIONS - STREETScape - WEST

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A_2305

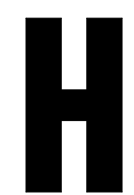
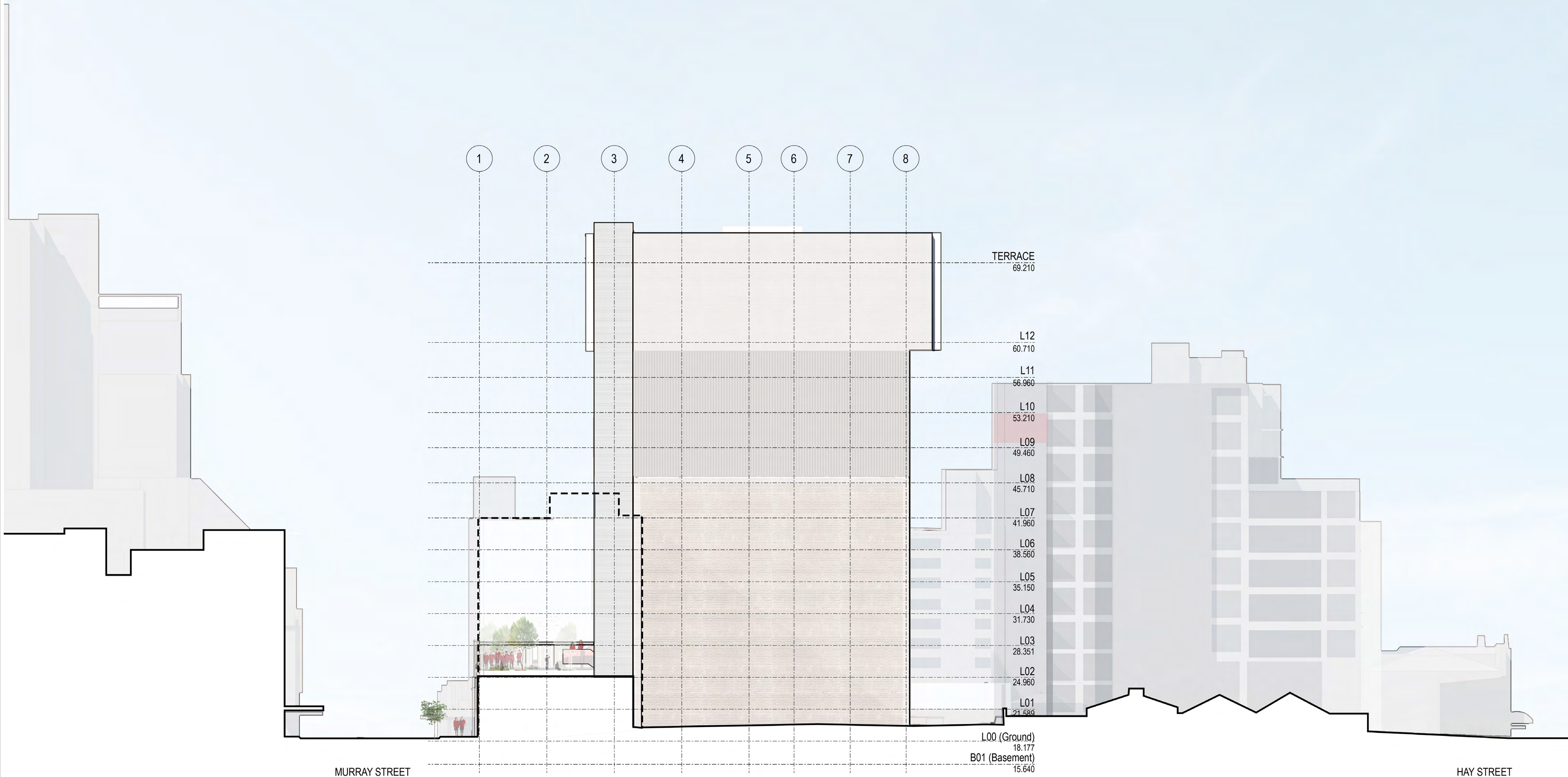
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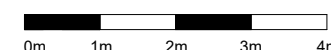
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ELEVATIONS - STREETScape - WEST STAGE
02

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DRAWING NO.

A_2306

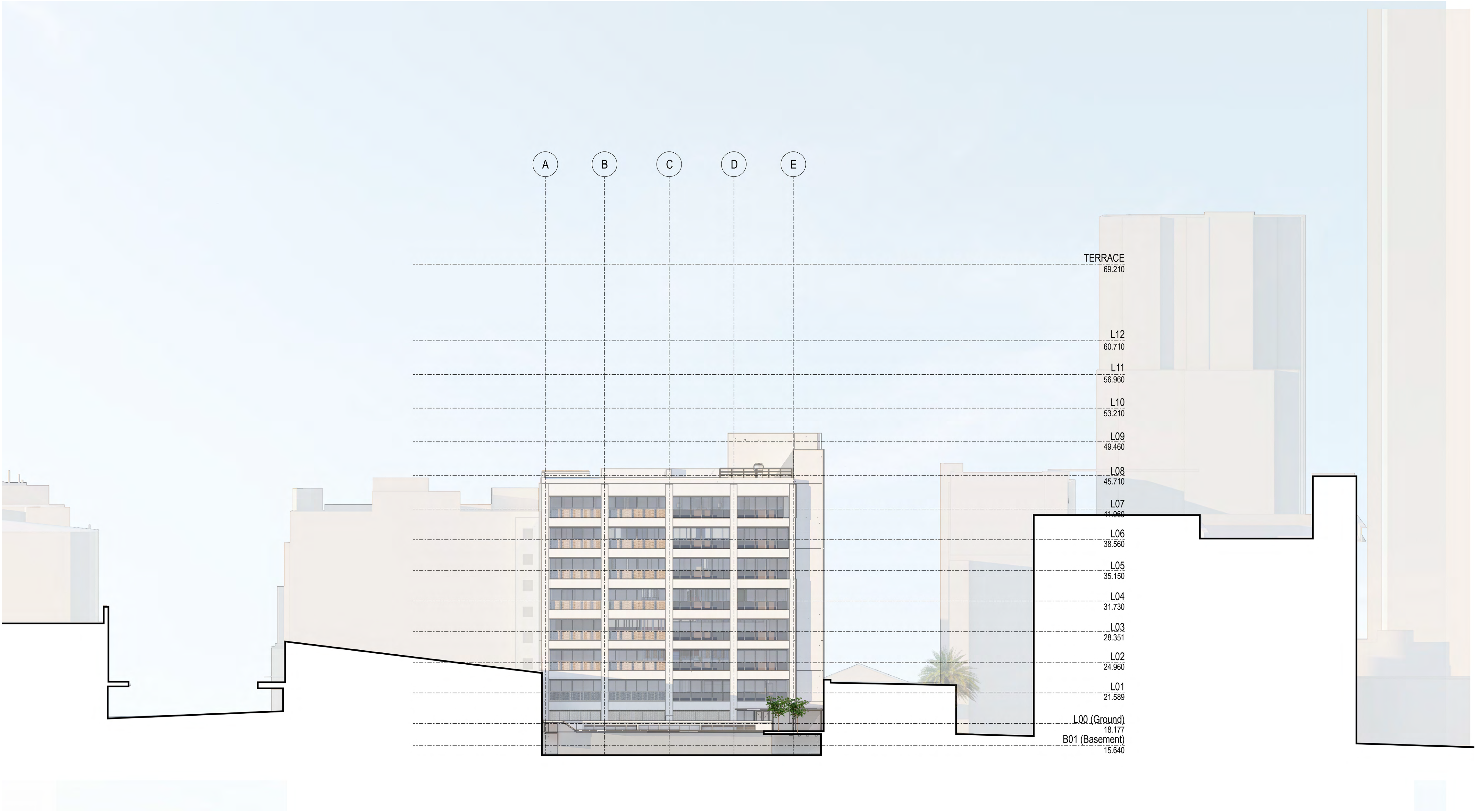
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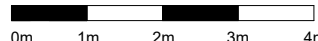
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DRAWING TITLE

ELEVATIONS - STREETScape - SOUTH

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DRAWING NO.

A_2307

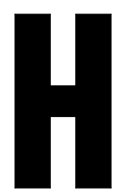
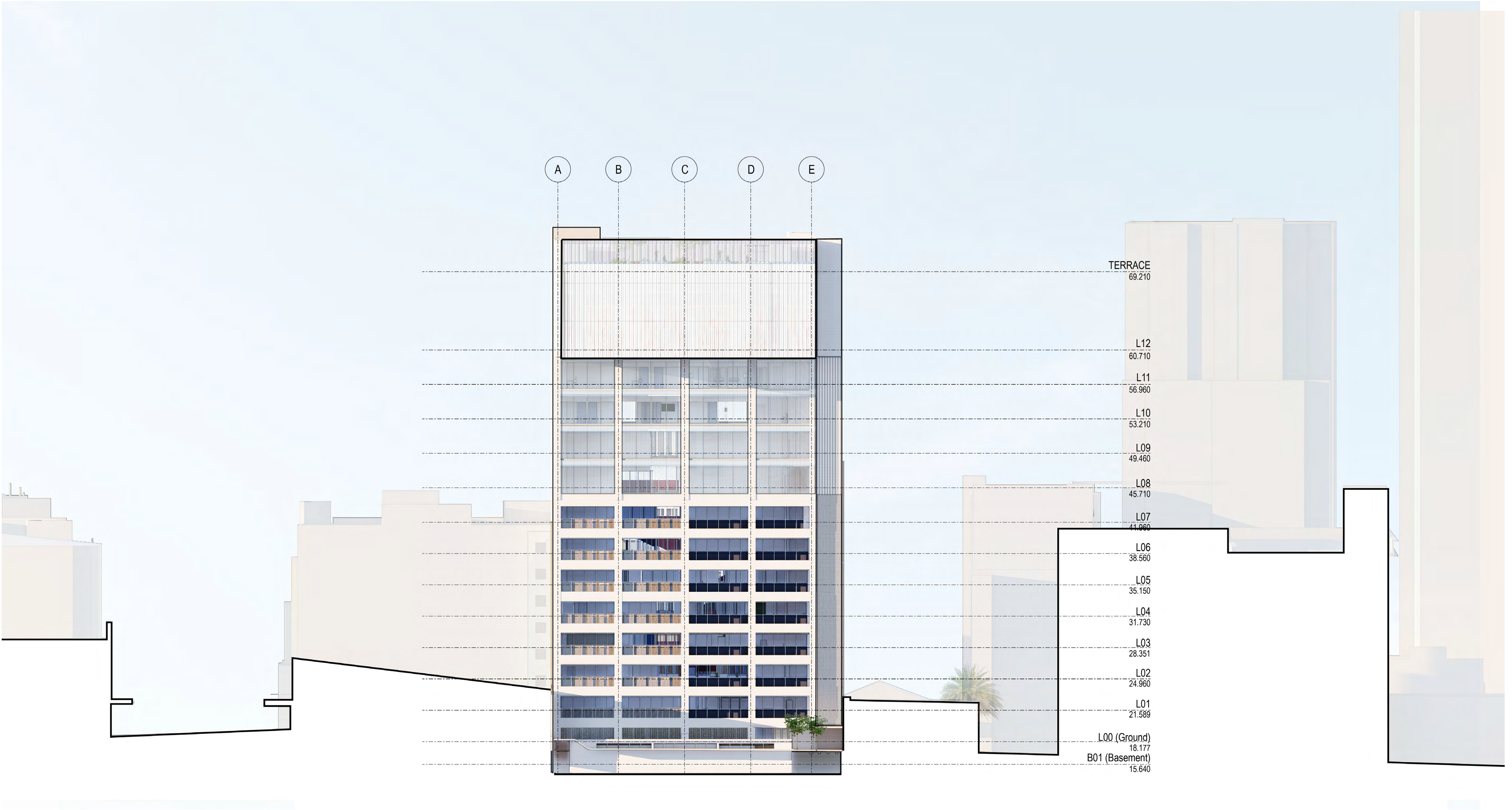
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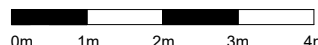
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441 MURRAY ST, PERTH

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DRAWING TITLE

ELEVATIONS - STREETScape - SOUTH
STAGE 02

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A_2308

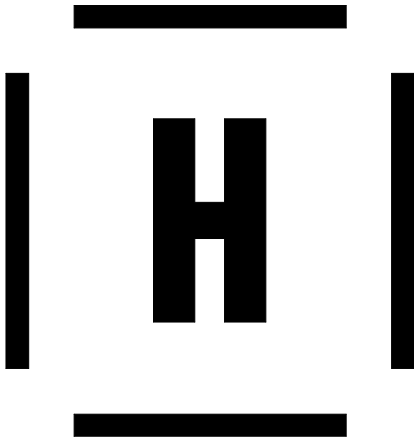
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PROJECT NO.

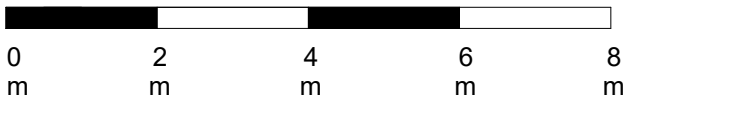
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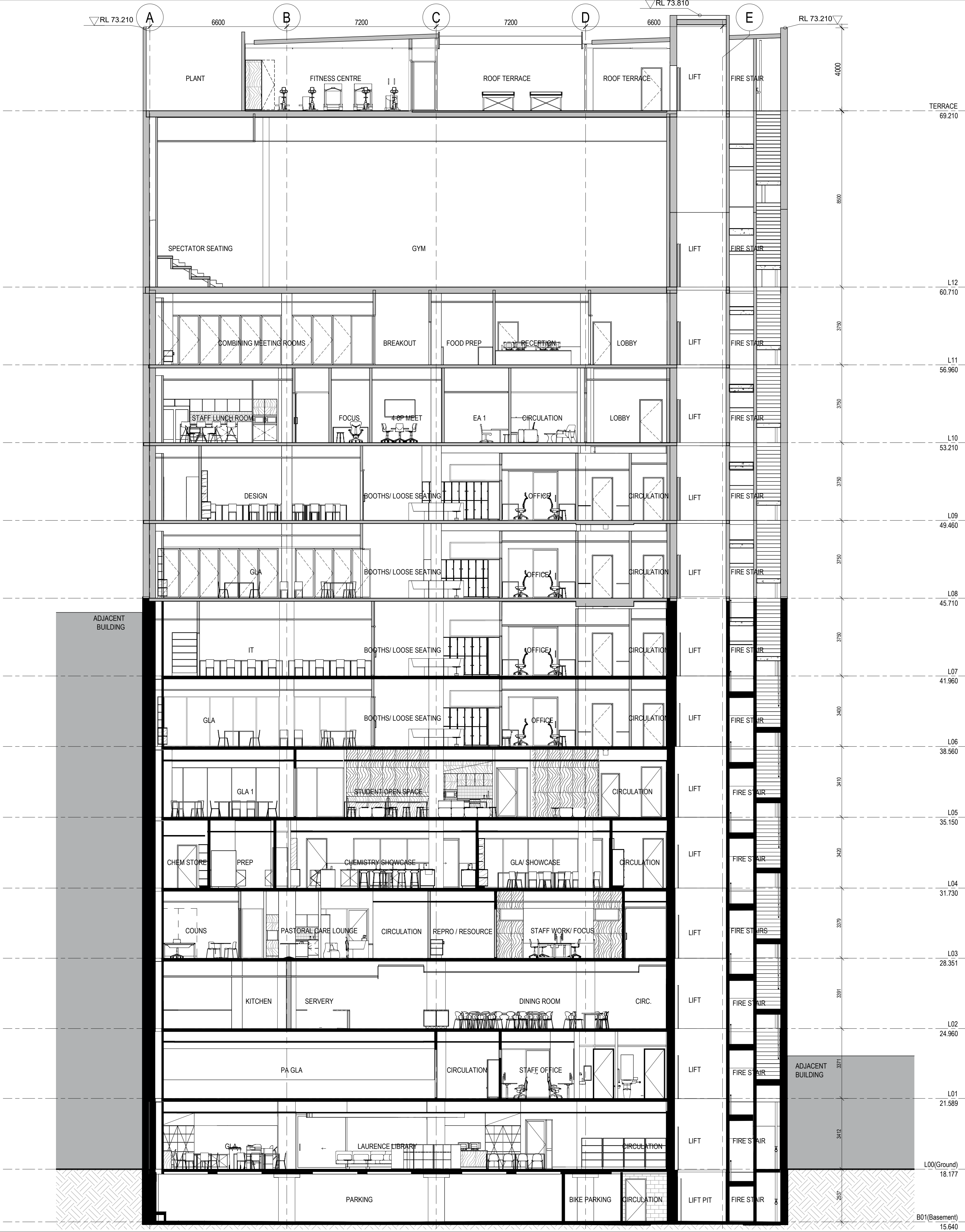
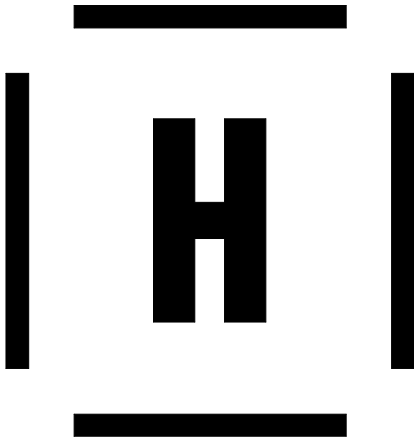
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441 MURRAY ST, PERTH

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DRAWING TITLE
STAGE 02 SECTION 01

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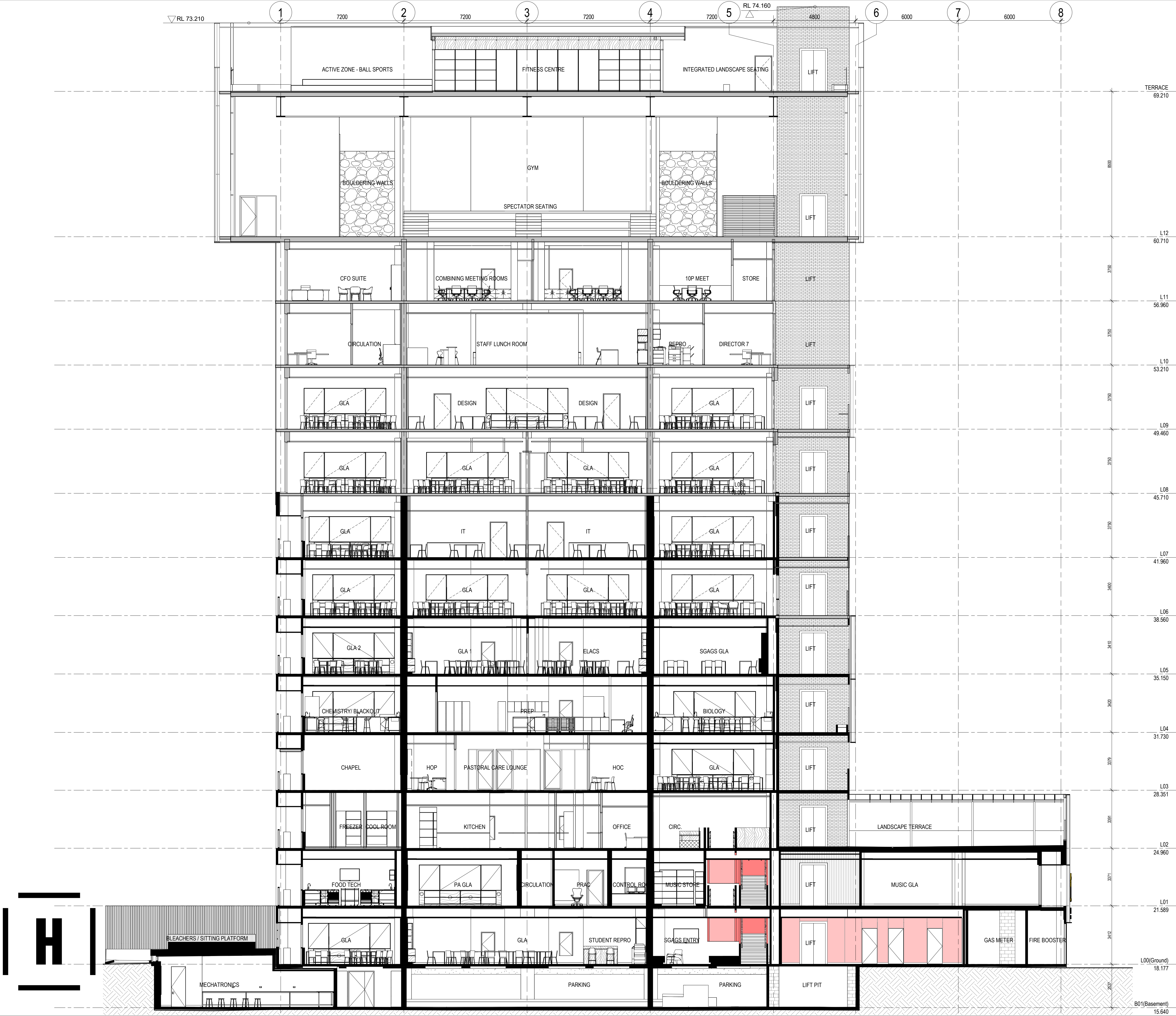
STAGE 02 SECTION 02

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DG	015881
DRAWING NO.	REV NO.
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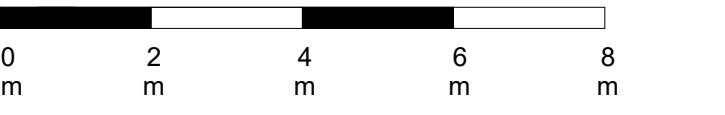
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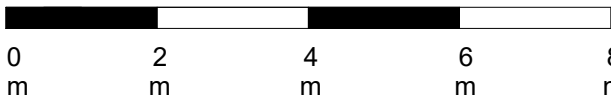
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DRAWING TITLE
STAGE 02 SECTION 03

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STAGE 02 SECTION 04

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APPROVED Approver	PROJECT NO. 015881
DRAWING NO. A_3303	REV NO. C

441-445

MURRAY STREET

landscape concept [A]



LANDSCAPE ARCHITECTS

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PREPARED FOR HASSELL
FEBRUARY 2023

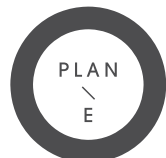


01

NARRATIVE

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narrative + context / analysis



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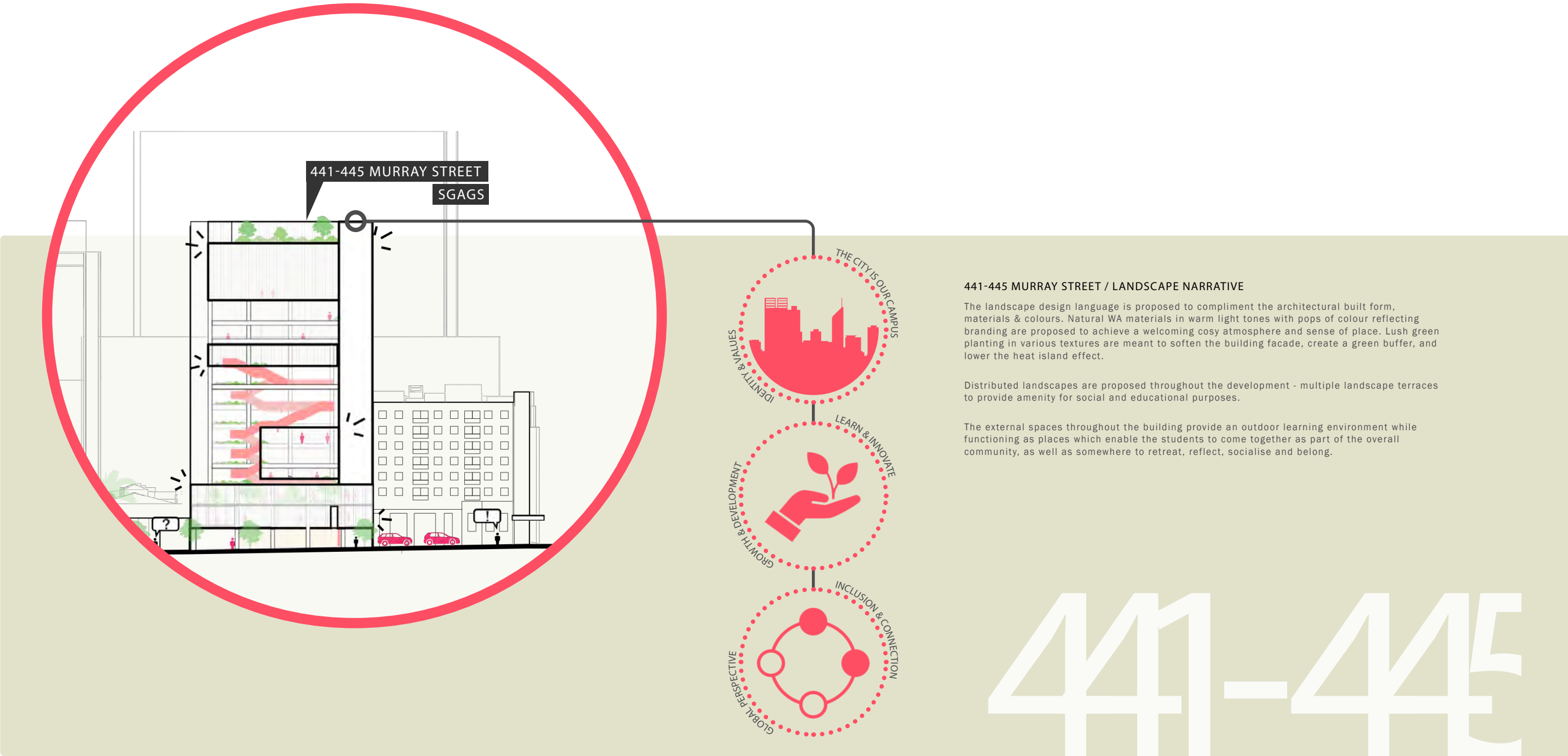
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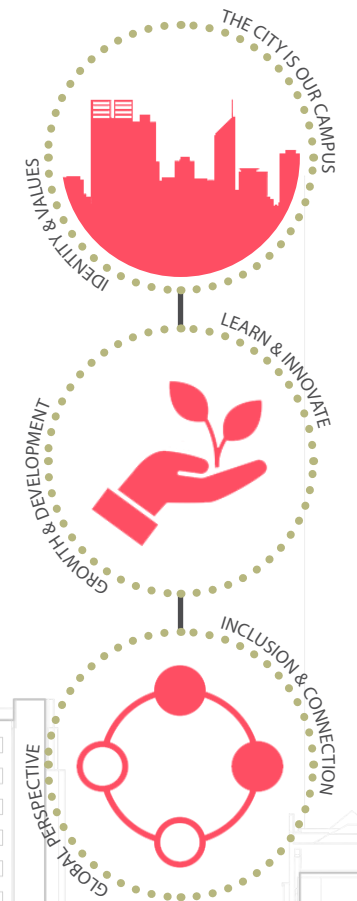
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narrative + context



design principles - educational landscapes

- Supporting social life, maximising outdoor learning opportunities and access to daylight is essential for kids.
- External spaces that provide access to natural lighting, plenty of seating, accessible location to gather.
- Creating environments that support opportunistic, independent, and project-based learning.
- Recreational spaces for unstructured play and imaginative games.
- Tiered seating for students to gather between and after classes, engage in self-guided learning and investigate their interests alone or in groups.
- Sensory gardens with various types of sensory-specific equipment to help students calm down and relax.
- Sustainability - trees and planting to utilise rain-water reuse system for the site.
- Flexible furniture layouts allow the environments to be rearranged for different learning formats according to the class or lesson type.
- Planters on wheels so they can be pushed around to make places for small gathering, performances and storytelling. Promote ownership of the space.



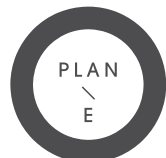
NEEDS OF STUDENTS INCLUDE:

- Outdoor learning
- Physical challenges
- A sense of inclusion
- A sense of ownership

A LANDSCAPE ENVIRONMENT SHOULD:

- Provide a safe place to be
- Provide equitable access to all areas
- Allow multiple use areas for a variety of activities
- Provide passive and active recreation opportunities

441-445



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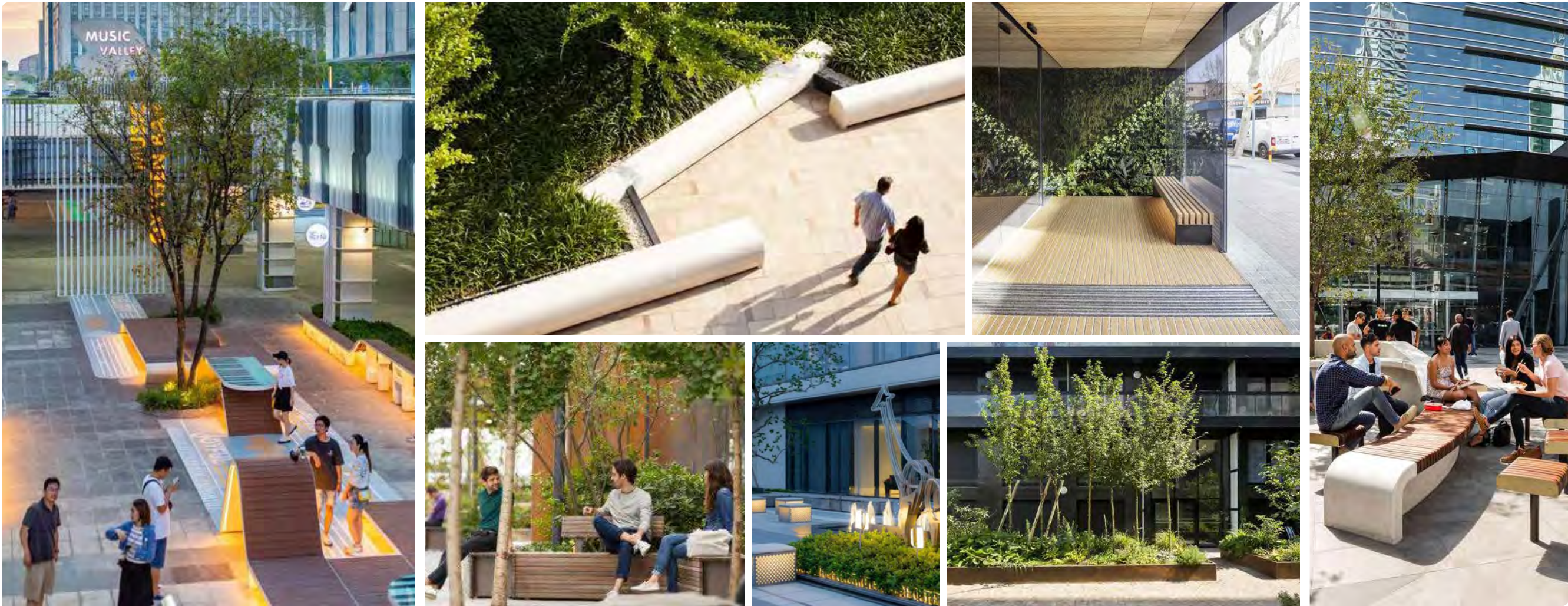
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IMAGERY

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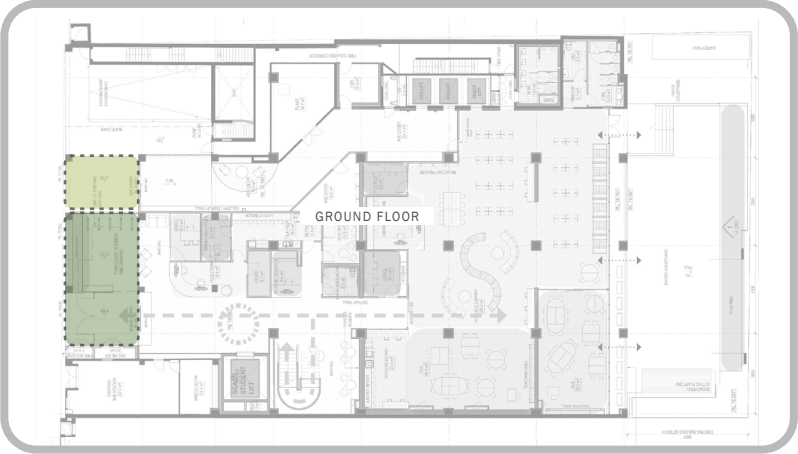
landscape imagery - streetscpae



ground floor / key plan
NTS

zone1:
ASC ENTRY FORECOURT

zone2:
SGAGS ENTRY FORECOURT



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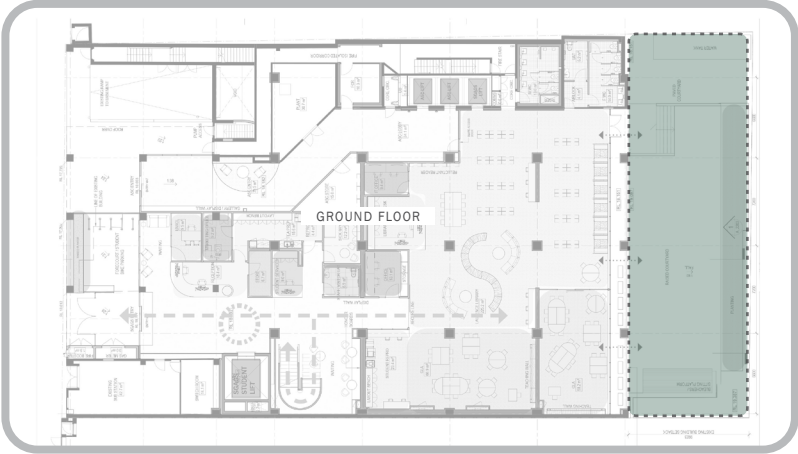
City of Perth
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landscape imagery - southern courtyard



ground floor / key plan
NTS

zone3:
RAISED COURTYARD



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FEBRUARY 2023

C1.108
REV A
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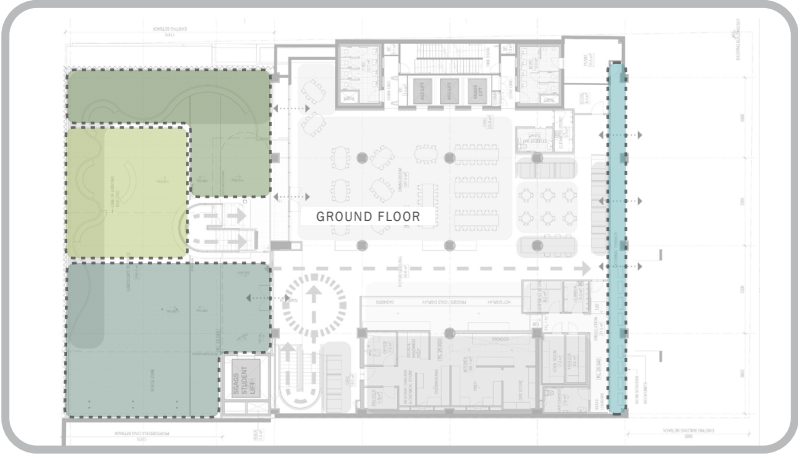
City of Perth
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Received

landscape imagery - level 02 podium



level 02 / key plan
NTS

- zone1:
SEMI ACTIVE USE SPACE WITH
MOVABLE FURNITURE
- zone2:
GREEN BUFFER, INTIMATE SEATING
- zone3:
FLEXIBLE USE SPACE/
PERFORMANCE STAGE
- zone4:
TERRACE



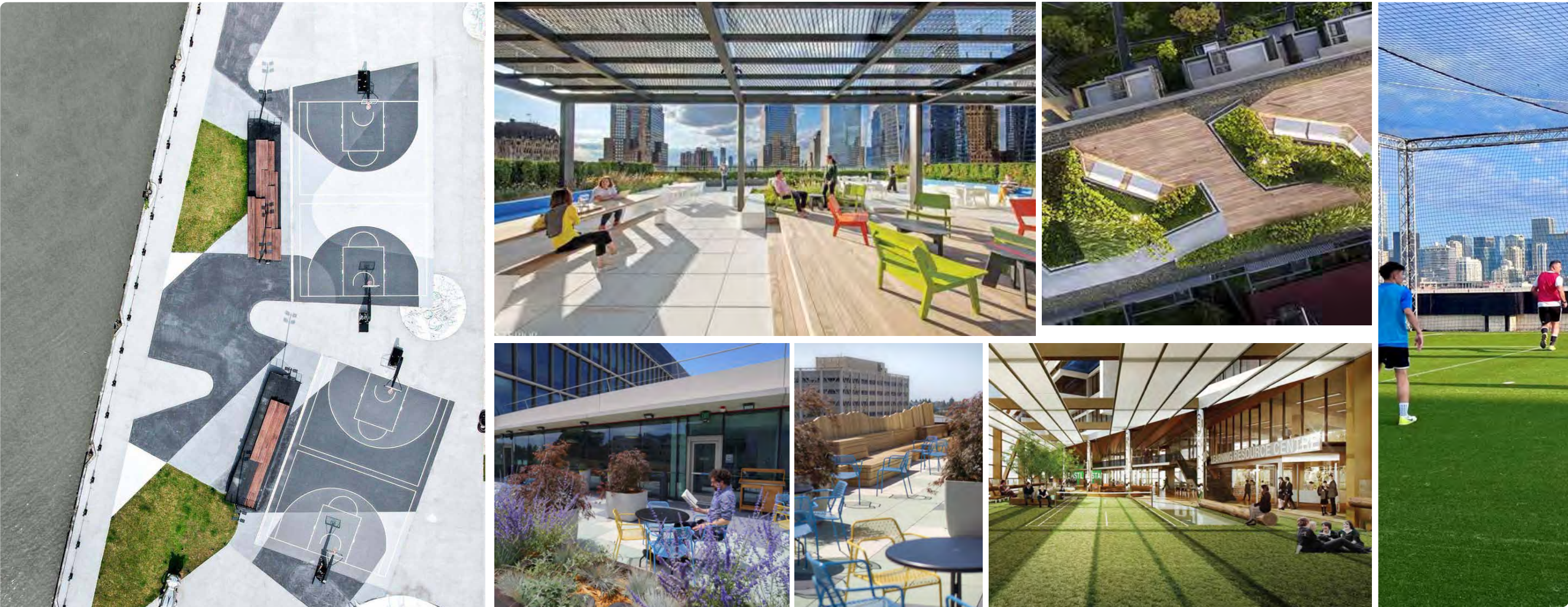
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landscape imagery - rooftop



- roof top / key plan
NTS
- zone1: SMALL GROUP GATHERING, INTIMATE SEATING SPACE
 - zone2: LARGE GROUP GATHERING SPACE
 - zone3: ACTIVE USE BALL GAME SPACE
 - zone4: GREEN BUFFER



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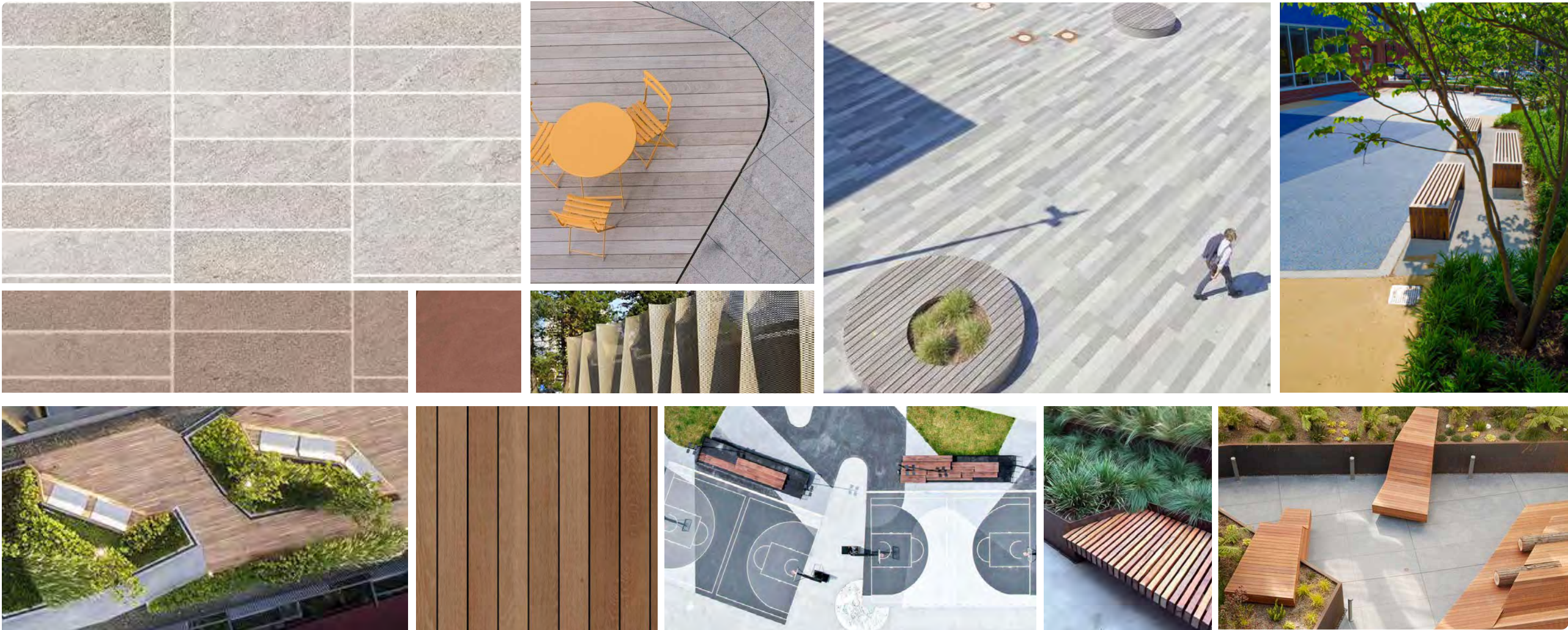


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landscape imagery - materiality



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functionality - uses



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03

CONCEPT

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ground floor - raised courtyard



LEGEND

- 01 RAISED PLANTER WITH CASCADING PLANTING AND INTEGRATED SEATING TO PROVIDE PRIVACY AND A WELCOMING ATMOSPHERE
- 02 STONE PAVERS TO MATCH COP STANDARD PAVERS AND PROVIDE A SEAMLESS TRANSITION FROM MURRAY STREET
- 03 FEATURE STONE PAVER IN WARM LIGHT COLOUR TO HIGHLIGHT BUILDING ENTRY AND CIRCULATION ROUTE
- 04 SCULPTURAL BENCH SEAT WHERE STUDENTS CAN SIT, RELAX IN ENTRY COURTYARD
- 05 BICYCLE PARKING
- 06 RAISED PLANTER TO CREATE A BOUNDARY BETWEEN PEDESTRIAN ENTRY AND CAR PARK ACCESS
- 07 RAISED PLANTER WITH INTEGRATED SEATING AND FEATURE SCREEN AROUND PROPOSED WATER TANK
- 08 MAIN STAIR ACCESS TO RAISED COURTYARD WITH SEATING WALLS (STEP/SEAT WALLS INDICATED AS TIMBER BUT COULD BE CONCRETE)
- 09 LIFT ACCESS TO RAISED COURTYARD
- 10 RAISED COURTYARD SPACE WITH LOOSE FURNITURE, MOVABLE POTS, AND INTEGRATED SEATING WITH RAISED PLANTERS ON PERIMETER TO CREATE A MULTI-FUNCTIONAL OUTDOOR SPACE FOR STUDENTS
- 11 FEATURE COLOURED CONCRETE OR SOFT FALL PAVING TO HIGHLIGHT GATHERING SPACES AND CREATE A DYNAMIC SPACE
- 12 RAISED PLANTERS WITH INTEGRATED SEATING TO FRAME COURTYARD AND PROVIDE INTIMATE SEATING NOOKS
- 13 TIERED SEATING ELEMENT TO PROVIDE LARGER GROUP GATHERING/OUTDOOR EDUCATIONAL SPACES
- 14 LARGE MOVABLE POTS WITH GARDEN BED AND TREE PLANTING TO PROVIDE SHADE AND OPPORTUNITIES FOR STUDENTS TO SHAPE OUTDOOR SPACE TO CATER FOR VARIOUS FUNCTIONS
- 15 DECORATIVE GRAVEL PAVING TO CREATE A BARRIER BETWEEN WINDOWS TO WORKSHOP AND PROPOSED GARDEN BED PLANTING
- 16 GARDEN BED AND TREE PLANTING IN DEEP SOIL ZONE
- 17 FEATURE SCREEN FOR PRIVACY
- 18 GATE ACCESS

NOTE: SEATING ELEMENTS SHOWN CAN BE A VARIETY OF MATERIALS SUCH AS FIBRE REINFORCED CONCRETE, ALUMINIUM AND COMPOSITE TIMBER FOR INCREASED DURABILITY

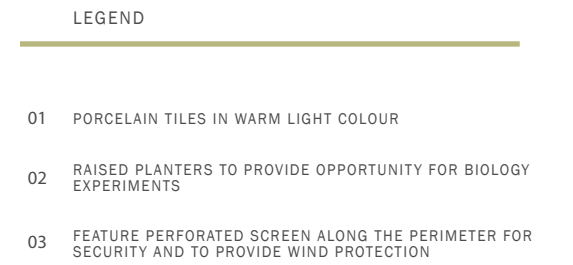
level 02 - podium level



LEGEND

- 01 PORCELAIN TILES IN WARM LIGHT COLOUR TO MAIN CIRCULATION PATH
- 02 FEATURE COLOURED CONCRETE OR SOFT FALL PAVING TO HIGHLIGHT GATHERING SPACES AND CREATE A DYNAMIC SPACE
- 03 RAISED PLANTERS WITH INTEGRATED SEATING ON WHEELS, TO PROVIDE FLEXIBLE FURNITURE LAYOUTS, ALLOWING THE SPACE TO BE REARRANGED FOR DIFFERENT LEARNING FORMATS
- 04 COMPOSITE TIMBER DECKING WHERE STUDENTS CAN GATHER, SIT, RELAX PARTICIPATE IN GROUP ACTIVITIES. THE RAISED PLANTERS/LOOSE FURNITURE CAN BE MOVED TO FREE UP THE SPACE FOR LARGER EVENTS, PERFORMANCES
- 05 RAISED PLANTERS WITH TREES, INTEGRATED SEATING ALONG THE PERIMETER TO CREATE A GREEN BUFFER AND A COMFORTABLE MICRO-CLIMATE. GREEN BUFFER ALSO CREATES SEPARATION FROM PERFORATED SCREEN AIMING TO MINIMISE BALUSTRADE
- 06 FEATURE COMPOSITE TIMBER ISLANDS FOR SMALL GROUP GATHERING, INFORMAL SEATING
- 07 FLEXIBLE USE ARTIFICIAL TURF SPACE TO SOFTEN THE BUILT FORM AND PROVIDE SPACE FOR UNSTRUCTURED PLAY AND IMAGINATIVE GAMES/RELAXING
- 08 TIERED SEATING CORNER FOR STUDENTS TO GATHER AND TO ENGAGE IN SELF-GUIDED LEARNING AND INVESTIGATE THEIR INTERESTS ALONE OR IN GROUPS
- 09 TIERED SEATING FOR SMALLER GROUP GATHERINGS
- 10 RAISED PLANTER WITH SHADE TOLERANT PLANTING
- 11 FEATURE PERFORATED SCREEN ALONG THE PODIUM PERIMETER FOR SECURITY AND TO PROVIDE WIND PROTECTION
- 12 PROPOSED SHADE CANOPY STRUCTURE OVER COMPOSITE TIMBER DECKING
- 13 ARTWALL PROJECTION OPPORTUNITIES

NOTE: SEATING ELEMENTS SHOWN CAN BE A VARIETY OF MATERIALS SUCH AS FIBRE REINFORCED CONCRETE, ALUMINIUM AND COMPOSITE TIMBER FOR INCREASED ROBUSTNESS



roof terrace



LEGEND

- 01 PORCELAIN TILES IN WARM LIGHT COLOUR
- 02 FEATURE COLOURED CONCRETE OR SOFT FALL PAVING TO CREATE A DYNAMIC SPACE
- 03 RAISED PLANTERS WITH GARDEN BED PLANTING, TREES AND INTEGRATED SEATING ALONG THE PERIMETER TO CREATE A GREEN BUFFER AND A COMFORTABLE MICRO-CLIMATE
- 04 TERRACING ARTIFICIAL TURF ISLAND TO SOFTEN THE BUILT FORM AND PROVIDE SPACE FOR IMAGINATIVE GAMES/ RELAXATION AND A SPECTATOR AREA
- 05 TIERED SEATING CORNER FOR STUDENTS TO GATHER AND TO ENGAGE IN SELF-GUIDED LEARNING
- 06 TIERED SEATING CORNER FOR STUDENTS TO GATHER AND PROVIDE A SPECTATOR AREA FOR THE BALLS-GAME SPACE
- 07 FLEXIBLE USE BALL GAMES AREA WITH COLOURED CONCRETE OR SOFT-FALL PAVING WITH SAFETY NET AROUND
- 08 INTIMATE SEATING NOOKS TO PROVIDE OPPORTUNITIES FOR SMALLER GROUP GATHERING
- 09 ACTIVE PLAY AREA PROTECTED BY BUILDINGS ON EITHER SIDE AND SHADE CANOPY STRUCTURE
- 10 RAISED PLANTER WITH CASCADING PLANTING AND TREES TO CREATE A GREEN BUFFER AND A COMFORTABLE-MICRO-CLIMATE
- 11 RAISED PLANTERS WITH HARDY, SUN TOLERANT GARDEN BED AND TREE PLANTING TO PROVIDE SHADE AND LOWER THE HEAT-ISLAND EFFECT

NOTE: SEATING ELEMENTS SHOWN CAN BE A VARIETY OF MATERIALS SUCH AS FIBRE REINFORCED CONCRETE, ALUMINIUM AND COMPOSITE TIMBER FOR INCREASED RUBUSTNESS



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C1.1017
REV A
1:200 @ A3



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04

TYPICAL SECTIONS

City of Perth

7/3/2023

Received

typical sections



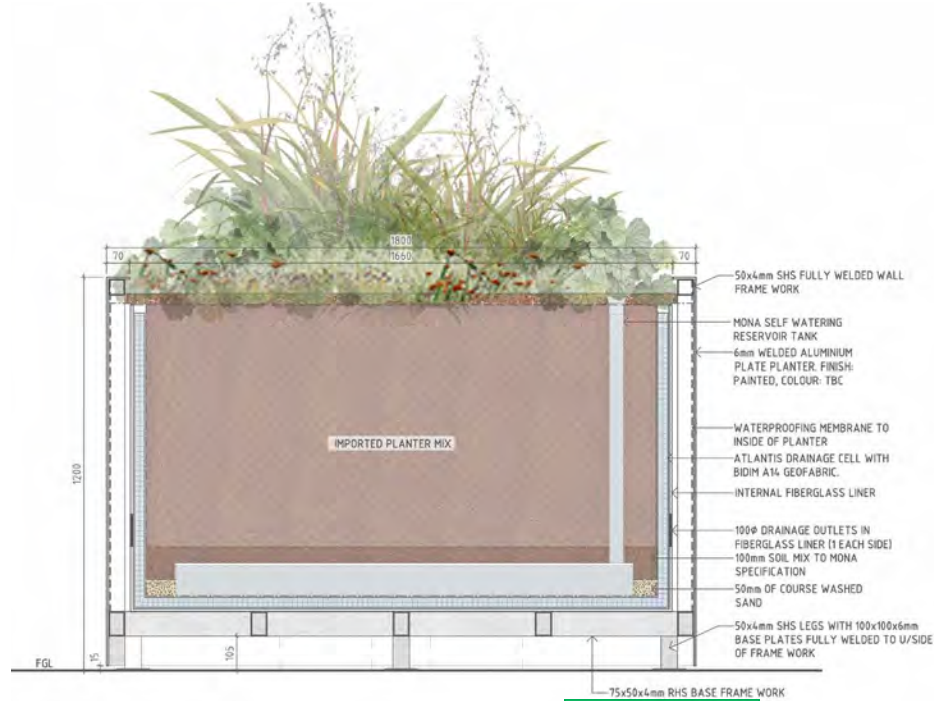
01 PLANTER ON STRUCTURE WITH SLAB SET(DOWN AND SEATING



03 MASONRY WALL WITH HDPE PLANTER INSERTS

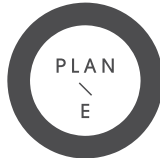


02 PLANTER ON STRUCTURE



04 PLANTER BOX TYPICAL SECTION

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REV A
NTS

05

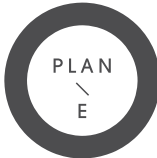
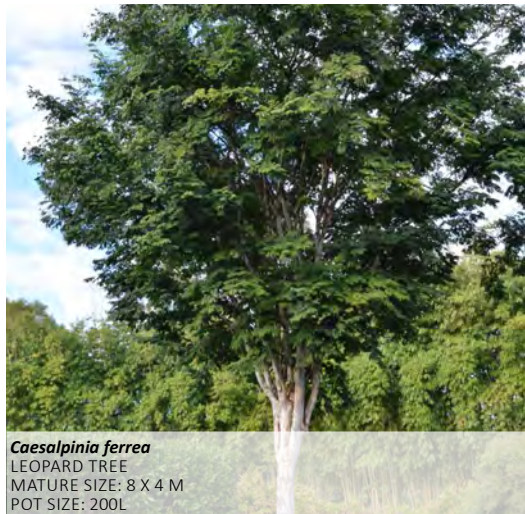
PLANTING PALETTE

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trees



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shrubs and ground covers



Grevillea Moonlight
GREVILLEA
MATURE SIZE: 3.5 X 3 M
SPACING: 1/M² POT SIZE: 200 MM



Coleonema pulchellum aurea
GOLDEN DIOSMA
MATURE SIZE: 1 X 1 M
SPACING: 2/M² POT SIZE: 140 MM



Lomandra 'Lime Tuff'
MATT RUSH
MATURE SIZE: 0.5 X 0.5 M
SPACING: 4/M² POT SIZE: 140 MM



Hibbertia scandens
SNAKE VINE
MATURE SIZE: 0.3 X 2 M
SPACING: 2/M² POT SIZE: 140 MM



Radermachera Summerscent
SUMMERSCENT
MATURE SIZE: 3 X 3 M
SPACING: 1/M² POT SIZE: 3L



Pittosporum 'Miss muffed'
DWARF PITTOSPORUM
MATURE SIZE: 1 X 1.5 M
SPACING: 2/M² POT SIZE: 5L



Nandina 'Lemon Lime'
HEAVENLY BAMBOO
MATURE SIZE: 1 X 1 M
SPACING: 2/M² POT SIZE: 200 MM



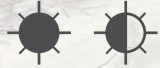
Acacia fettuccini
BOWER WATTLE
MATURE SIZE: 0.75 X 1.2 M
SPACING: 3/M² POT SIZE: 140 MM



Dianella 'Tasred'
FLAX LILY
MATURE SIZE: 0.45 X 0.5 M
SPACING: 4/M² POT SIZE: 140 MM



Liriope 'Just right'
LILY TURF
MATURE SIZE: 0.45 X 0.5 M
SPACING: 4/M² POT SIZE: 140 MM



Hemiantandra pungens 'Alba'
SNAKE BUSH
MATURE SIZE: 0.3 X 1 M
SPACING: 2/M² POT SIZE: 140 MM



Casuarina 'Cousin it'
COUSIN IT CASUARINA
MATURE SIZE: 0.15 X 1 M
SPACING: 2/M² POT SIZE: 140 MM



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shade tolerant planting



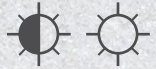
Rhapis excelsa
LADY PALM
MATURE SIZE: 0.3 X 0.3 M
SPACING: 2/M² POT SIZE: 200 MM



Chamaedorea seifritzii
BAMBOO PALM
MATURE SIZE: 3 X 2 M
SPACING: 1/M² POT SIZE: 140 MM



Cyrtomium falcatum
HOLLY FERN
MATURE SIZE: 0.6 X 1 M
SPACING: 2/M² POT SIZE: 140 MM



Fatsia japonica
JAPANESE ARALIA
MATURE SIZE: 1-6 X 1-4 M
SPACING: 1/M² POT SIZE: 140 MM



Nandina domestica 'Obsession'
SACRED BAMBOO
MATURE SIZE: 0.7 X 0.7 M
SPACING: 2/M² POT SIZE: 140 MM



Nandina 'Gulf Stram'
SACRED BAMBOO
MATURE SIZE: 0.5 X 0.5 M
SPACING: 4/M² POT SIZE: 140 MM



Spathiphyllum sensation
PEACE LILY
MATURE SIZE: 1 X 1 M
SPACING: 2/M² POT SIZE: 5 L



Arthropodium cirratum
NEW ZEALAND ROCK LILY
MATURE SIZE: 0.8 X 0.8 M
SPACING: 2/M² POT SIZE: 140 MM



Blechnum 'Silver Lady'
SILVER LADY FERN
MATURE SIZE: 1.2 X 1 M
SPACING: 2/M² POT SIZE: 140 MM



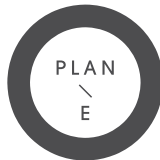
Nephrolepis 'Teddy junior'
TEDDY JUNIOR SWORD FERN
MATURE SIZE: 0.4 X 0.4 M
SPACING: 3/M² POT SIZE: 140 MM



Dichondra repens
KIDNEY PLANT
MATURE SIZE: 0.1 X 0.3 M
SPACING: 5/M² POT SIZE: 140 MM



Senecio 'String of Beans'
STRING OF BEANS
MATURE SIZE: 0.1 X 0.9 M
SPACING: 2/M² POT SIZE: 140 MM



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FEBRUARY 2023



15 December 2022

City of Perth

Council House

Attention: Julia Kingsbury and Jasmine Hancock

27 St Georges Terrace

Perth WA 6000

RE: 441-445 (Lot 16) Murray Street, Perth – Adaptive Reuse and Extension of and Existing Office Building for a Secondary College ('Education 2')

Dear Julia Kingsbury and Jasmine Hancock

As a Small Family-Owned Business of a Quest Apartment Hotel Franchise and Owner of Unit 26/451 Murray Street Perth we have some major concerns regarding the Planning Application that was received from the City of Perth dated the 28 November 2022.

After careful review of the Planning Application our concerns so far are listed below:

- External Stairwell
 - While the number of students is not provided based on the planning application, amalgamation of multiple Schools, Head Office and size of the building it will be substantial.
 - With this volume of students and staff the concern is the noise coming from the open-air stairwell will impact on our business as we will not be able to provide 'quiet enjoyment' for our guests. This will also increase the complaints both directly and through online reviews which will also impact our business.
- First Floor Court Yard
 - Murray Street – This court yard will be in very close proximity to some of our guest apartment windows.
 - Again, with this volume of students and staff the concern is the noise coming from the open-air court yard will impact on our business as we

- will not be able to provide 'quiet enjoyment' for our guests. This will also increase the complaints both directly and through online reviews which will also impact our business.
- Roof Top - Play Area and Basketball Court
 - As previously stated, this is another open area with large numbers of students and staff utilising this area which will create noise levels that will impact on our guests 'quiet enjoyment' of the apartment they have booked.
 - Also having apartments at the back of the property that we advertise as our quiet apartments will no longer be the case with the above plans.
- Ground Floor
 - Concerns with large numbers congregating around the front entrance of the building regardless of the proposal to reduce this with a recessed under cover area it will still be open and will impact on the apartments that are close to this area.
- Car Parking
 - Reduction in available car parking bays in the morning and afternoons.
 - We already have issues with available street car parking bays for our guests when checking in and checking out. One would suggest that this would not improve if this proposal was to go ahead.
 - School buses will also impact car parking and traffic in the morning and afternoons as well as school excursions, sporting and general events.
- Traffic
 - Increase in traffic early in the morning and afternoons. Already heavily congested during these times.
 - We already have traffic issues when the RAC Arena is hosting events and this would just add to the congestion.
- Standard commercial building verses a school
 - Since I opened the property back in 1995 and took on the Franchise of the property in 2004, we have never had an issue with the tenants of this building.
 - With the proposal to change this to a school with an increased volume of people compared to a standard commercial building there will be major issues with our building and the surrounding buildings moving forward.



In summary generally large commercial buildings in the CBD are fully enclosed without major outdoor areas which means they do not increase noise pollution in the way this proposal would. Also the volume of students and staff that would occupy the premises would far exceed the volume you would normally have in a standard commercial building.

With the proposal in its current state there are multiple open areas that will create major noise pollution for the area, reduced parking in the area, increase traffic congestion. With all these items combined they will cause a dramatic impact to our Small Family Business.

After reading this proposal I'm unsure how we would be able to provide our guests with 'quiet enjoyment' during their stay at Quest West End with the proposal that has been put forward to the City of Perth.

I would appreciate if consideration could be made of the above information and I appreciate the opportunity given to provide feedback to the City of Perth.

Thank you and I'm more than happy to be contact at any time to discuss my concerns on 9480 3888 or 041 77 999 37.

Kind regards

A handwritten signature in black ink, appearing to read "A.P. Clarke".

Andrew Clarke

Small Family Business Owner

aclarke@questapartments.com.au

State Planning Policy 7.0 - Design of the Built Environment

State Planning Policy 7.0 - Design of the Built Environment addresses design quality and built form outcomes seeking to deliver the broad economic, environmental, social and cultural benefits that derive from good design outcomes. It sets out the objectives, measures, principles and processes which apply to the design and assessment of built environment proposals through the planning system.

The applicant has provided their response to the design principles of the Policy, which is summarised below: -

Design Principle	Comments
<p>1. Context and character</p> <p>Good design responds to and enhances the distinctive characteristics of a local area, contributing to a sense of place.</p>	<p>The proposed design aims to:</p> <ul style="list-style-type: none">• Create an identity for the precinct and SGAGS through the use of the distinctive red ribbon stair design element.• Active Murray Street through the activity and movement at streetlevel but also vertically through the outdoor terraces and external vertical circulation.• Add to the vibrancy of the west end of the city• Landscape terraces and streetscape provides greening to Murray Street and positively contributes to the vibrancy of the streetscape. <p>This development hopes to be showcase for vertical schooling and a beacon for sustainable design through a positive adaptive re-use of existing building and vertical expansion to reflect growing needs of the community.</p> <p>The central theme - 'the city is our campus' is at the heart of this project and we hope that it will be a leader in vertical school design for Perth. This concept provides students with authentic real world learning opportunities and a culture that truly connects with the city and in addition will bring new life to this end of the city in a positive and mutual beneficial way.</p> <p>The re-use and upgrading of the existing, slightly tired office building is a very good sustainability story and a good way of displaying different and unanticipated community activity in the CBD.</p> <p>The location at 441 Murray Street enables SGAGS to continue to leverage its inner city location to complement its in house facilities with the amenity, venues and facility that Perth CBD can offer. The re-location of the school to this site will positively contribute to the identity of an area including adjacent sites, streetscapes and the surrounding neighbourhood.</p>

	<p>The design encourages a sense of the community and tries to engage with the city. Through interactive elements such as:</p> <ul style="list-style-type: none"> • The red ribbon - movement throughout the school a central part of the identity of the school, within and beyond the building. The red colour for the 'ribbon' was chosen as a nod to the distinctive red blazers worn by the students of St George's Anglican School can be seen walking around the Perth CBD. This distinctive element creates a connection between the students, city and school. • Visual engagement with the street: transparency is provided to street front windows and glazed areas. • Clear, welcoming entries: distinctive, well-lit and clearly visible pedestrian entries are provided to buildings. • The Northern orientation of main facade allows for good natural light and views to the internal environments, while also creating a strong visual connection between inner workings of the school and public realm. This creates articulation and visual interest along the elevation, while allowing for sun shading to be integrated within additional elements. • The East and West elevations are characterised by the existing building's white ribbed blockwork, which will be matched and extended. The core walls wrap the corner of the building and act as a frame to the North and South.
<p>2. Landscape quality</p> <p>Good design recognises that together landscape and buildings operate as an integrated and sustainable system, within a broader ecological context.</p>	<p>Good landscape design provides external amenity and functionality while encouraging social interaction, equitable access and connection to the land.</p> <p>Landscape is an integral part of the external fabric refurbishment and expansion strategy which tries to provide a DISTRIBUTED LANDSCAPE to enhance visual and physical connections including links to green space, sky and outlook. This has been achieved through:</p> <ul style="list-style-type: none"> • Multiple landscape terraces providing green open play spaces. • Planter boxes scattered throughout the vertical terraces. • Forecourt to Ground Floor. • Southern Courtyard <p>Ground Floor Entry Forecourt</p> <p>The re-imagined forecourt to the entry of the school uses soft and hard landscape with urban design elements to enhance the streetscape and public realm. Additional planters along the street provide greening to Murray Street and the paved forecourt area behind allows for seating and</p>

gathering space for students, teachers and parents. The forecourt is secured at night to provide safety and security.

The 3 existing street trees have also been maintained along Murray Street.

This new forecourt, with the addition of the updated podium facade and entry create an engaging place that will contribute to local identity and streetscape character.

Break-out Spaces

The cascading outdoor spaces creates a series of habitable, north facing landscapes that become break out, informal learning, non-air conditioned major circulation space and greenery whilst providing important articulation to the façade.

Southern Courtyard

The existing void to the basement below will be covered by a slab on ground to provide shade to the workshop space below but also to create a southern courtyard on ground level.

Planting is proposed on the southern boundary as this allow for a deep soil zones for trees. The planting zone will drastically soften the existing hardscape that is on the south of the site. whilst providing outlook to trees from the library as well as the workshop below through the clerestory windows.

Stepped access to the raised courtyard provides informal seating and gathering points while also allowing for natural light and raised ceiling height into the rooms below.

Level 02 Terrace

The existing outdoor terrace located on Level 02 is sparse and under utilised. The vision is to refurbish and transform the terrace into a mutli-functional space. Adjacent to the cafeteria, it has the opportunity to host events such as art exhibition nights and parents sun downers.

A stage along the western boundary presents an opportunity to showcase student performances and work, become an outdoor cinema, a venue for special occasions for music performance and specialist learning areas.

The existing terrace on level 02 has a line of site to/from the apartments on the north side of Murray Street. This has been mitigated through treatment of the northern edge of

	<p>the terrace in conjunction with anti-climb elements and perimeter planting that allow for deep soil zones for native and drought resilient plants. This provides a permeable and semi-private edge to the terrace that will benefit students and help establish the presence and identity of the school to the wider community.</p> <p>Roof Terrace</p> <p>The Roof terrace will form part of the vertical expansion in the Stage 02 development.</p> <p>The terrace is divided into 3 distinct zones protected by a 4m high screen to provide safety and security for the students. Below are the design features of the 3 zones:</p> <ul style="list-style-type: none"> • Zone 1: Vegetation to the north to act as buffer from building edge. Landscape integrated seating for smaller group settings with opportunity to use planting as privacy screen and utilising the raised planter beds as a deeper soil zone for native planting around the perimeter • Zone 02: Fitness Centre with opportunity to spill out for larger events. Shaded area for informal play including table tennis and four-square • Zone 03: Open hard court area for ball sports with bleacher seating towards the west for spectating
<p>3. Built form and scale</p> <p>Good design ensures that the massing and height of development is appropriate to its setting and successfully negotiates between existing built form and the intended future character of the local area.</p>	<p>Both the stage 01 (adaptive re-use) and stage 02 (vertical expansion) of the existing 1980's concrete framed building work within the strong, grid based envelope and building footprint.</p> <p>The introduction of the St Georges Anglican School (SGAGS) into the building has provided an opportunity to express the ongoing authentic learning opportunities for students, who in turn provide an engaging, city focused presence for emerging generations.</p> <p>The co-location of ASC, ASCI and SGAGS in the one project will bring a mix of uses and activities that is more than a "business as usual" office building, and this has been reflected in the built form.</p> <p>The expressed grid-like white concrete superstructure has been retained and vertically extended as a framework for the new additions and articulation of the facade. This structural frame allows distinct elements to slide in and out, including habitable green roof terraces, balconies, voids and glazing.</p> <p>These elements include four volumes expressed on the northern facade that respond to the internal function and</p>

	<p>express the different areas of curriculum within the school. This provides variety and activation within a restrained design palette, showcasing a vibrant and inclusive community to the city.</p> <p>The performing arts (level 1) is a strong feature of the Murray Street elevation, connecting the building to the ground plane entry and providing a human scale. It is clad in a metal mesh facade, providing translucency to the interior and an external glow light at night. It defines a clear point of community interface, accentuated by an angled facade element highlighting the school entry. The existing, Level 2 podium level contains a new landscaped terrace for school breakout and social space, and extends Level 1 into a well proportioned volume. The mesh screen provides a level of privacy, allows in winter sun and offers glimpses of greenery to Murray Street.</p> <p>The Level 4 Science and 5 ASCI levels are defined two outdoor spaces at the landings to the external stairs and lift. This creates an additional space for outdoor connection and greenery.</p> <p>The stage 02 is crowned by the expressed volume to the gymnasium and roof terrace with wellness centre. This a distinct, translucent element that provides a distinctive, modern entablature to the top of the building. The new series of outdoor spaces different elements within the school are connected by an expressed, external red ribbon staircase, reflecting the red jacketed students that wind their way around and across the CBD as part of their learning and social life.</p>
<p>4. Functionality and build quality</p> <p>Good design meets the needs of users efficiently and effectively, balancing functional requirements to perform well and deliver optimum benefit over the full life-cycle.</p>	<p>Functionality and serviceability for the design approach has been influenced by both the existing building materiality, and the need to accommodate both school and commercial office use functions. The retention of the existing building has had a strong influence on the selection of robust and low maintenance materials such as the east and west facade split face blockwork. The new external lift core element to the north west continues this approach, wrapping the corner of the building and acting as a framed edge to the north and south elevations.</p> <p>The palette of materials has been restricted in recognition of serviceability and the particular needs of a busy school. The expression and celebration of school the school community and its activities, internal and external, provides much of the animation and colour. The further expression of the contrasts between solid, glass and translucent zones further enhances the activation of the external fabric while working with a limited palette of materials. This is in contrast to an externally applied finish with a limited life</p>

	<p>cycle and has the risk of denoting a single point in the fashion cycle.</p> <p>Pre-finished cladding materials, notably a light, perforated metal cladding façade elements to break up the views, massing and provide translucency. These are externally applied. separable elements from the weather proofing external skin of the building.</p> <p>The majority of external windows follow the precedent of the existing building, with an internal sill and detailing to allow maintenance and cleaning from inside the building fabric.</p> <p>Landscape zones such as the level 2 and roof terraces use built up planters that are separate to the waterproofing line of external floor slabs.</p> <p>Finishes will be selected to respond to the building massing and internal functions through a modern, robust palette to reflect community scale without institutionality.</p> <p>The design has considered a careful balance of achieving transparency and visual connectivity, while managing functional requirements for privacy, excluding direct glare and mitigating heat gain. This has informed many of the planning decisions, which see light and noise sensitive spaces located away from perimeter access to natural light, and highly serviced areas focused around existing and new engineering infrastructure and vertical risers.</p>
<p>5. Sustainability</p> <p>Good design optimises the sustainability of the built environment, delivering positive environmental, social and economic outcomes</p>	<p>The strongest sustainability element of this project is in the re-living and adaptive re-use of an existing building. This has enormous savings in the embodied carbon from the existing concrete structure being retained. This is in addition to the cultural sustainability opportunity for regeneration for the Perth city centre inner west, both in building terms and in the new functions and community being integrated into the CBD fabric.</p> <p>The orientation of the building has been established by the site and the existing building footprint. This has the advantage of a predominantly north-south orientation, with solar block out to the east and west. Maintaining the nil side setbacks of the existing building has meant that there has is minimal impact to the surrounding area from extending the existing building footprint to the north and south. This is particularly relevant to the existing facilities to the south.</p> <p>An extensive engineering team has been engaged and has worked in collaboration with the architectural team to use existing services infrastructure wherever possible, and to</p>

	<p>address new codes and regulations put in place subsequently to the completion of the original building.</p> <p>Internal planning has maximised transparency between spaces and opportunities for borrowed natural light. The school facilities have the majority of the student vertical access from an external covered staircase. This is a new design feature for the external facade that also provides non air conditioned space and fresh air and external learning space/ balconies for student use.</p> <p>The existing building management system (BMS) will be replaced with a modern system that allows for remote access via a standard web browser and potential- ly a virtual machine as the human machine interface (HMI) to ensure thatASC does not need to constantly renew aging computer infrastructure in the future.</p> <p>Roof and balcony drainage will be collected and conveyed through a combination of gravity and siphonic stormwater drainage pipework connecting to the site Civil stormwater system.</p>
<p>6. Amenity</p> <p>Good design provides successful places that offer a variety of uses and activities while optimising internal and external amenity for occupants, visitors and neighbours, providing environments that are comfortable, productive and healthy</p>	<p>A core innovation feature for this project is in the mix of uses it contains. This includes office use and learning/ teaching across a wide range of curriculum areas. It has the ability to flex, change and adapt as part of the staging strategy and in response to future changes in both learning needs and in workplace design. A particular consideration has been the building arrival sequences for the three entities (ASC, ASCI, SGAGS) to and within the building. This includes separated Murray St entry zones and vertical circulation strategies.</p> <p>Universal access throughout the project has been a key consideration, with extensive provision of both amenities and AS1428 compliant access.</p> <p>While a large component of the project is a vertical school format, the St Georges Anglican School has the advantage of having operated within the Perth CBD in this format over a number of years. SGAGS, ASC and ASCI have been in constant collaboration throughout the design process, and given valuable input, critique and advice on function and amenity. This includes storage, waste management strategies and requirements for acoustic treatments within and beyond different spaces. An acoustic engineer has been engaged to provide formal ,specialist advice.</p> <p>Sizing and functional relationships of internal spaces have been tested through precedent projects and direct experience of both client and design team. Internal planning has been based on coherent and clear wayfinding</p>

	<p>that is consistent across all levels. Circulation space has been minimised through careful planning and co-located with other uses such as social and informal learning space, to enhance volume and movement patterns.</p> <p>The external circulation space (the 'red ribbon stair') for school areas provides consistent access to fresh air and outlook, while having increased width of circulation paths that is not at the expense of learning area. They also provide links to external spaces for socialising and informal area. This includes the north facing level 2 courtyard and the roof terrace with Wellness Centre.</p> <p>The office components for the project have been reviewed to provide a combination of quiet space, collaborative working and meeting zones, and social spaces.</p> <p>Careful consideration has been given to the internal planning to achieve good access to views, light and cross ventilation while providing appropriate solar shading to minimise heat gain and the impact of direct sun on work surfaces.</p>
<p>7. Legibility</p> <p>Good design results in buildings and places that are legible, with clear connections and easily identifiable elements to help people find their way around</p>	<p>The project is mainly accessed through public transport, with the existing basement car park area having a reduction in the number of car bays to accommodate upgraded engineering infrastructure. The existing school community have had this same approach in the existing William St location, and SGAGS is an exemplar for a city integrated project that is not car focused.</p> <p>The design, while a self contained building with a single street address, has a strong presence both within its streetscape and when viewed from distant vantage points as part of the city fabric.</p> <p>The urban connections between the project and the CBD have been investigated in detail, including mapping of public transport routes and future developments such as the ECU city campus. The linkages between school activities and other facilities throughout the CBD is one of the defining and most positive attributes for both the school and the City of Perth.</p> <p>The project has two distinct entry and arrival point from the main address onto Murray St. ASC and ASCI have a more traditional arrival sequence as would be expected for a commercial development, but with a distinct front door that is separated from the SGAGS entry. The entry to SGAGS has a 'fold' in the facade that is aligned with the front door, which is further emphasised by an element of the 'red ribbon' stair reflected onto the wall adjacent to this entry.</p>

	<p>The oblique views both to and from the building along Murray St have been modelled and tested in a 3D environment using the Perth CBD city model. These view lines have greater significance within the streetscape due to the podium level interface with Murray St which steps back significantly above Level 2 to become the tower element. Locating the school main courtyard at this cafeteria level provides a strong social space at the heart of the school layout, while also providing a human scaled view of the school that is visible from ground level.</p>
<p>8. Safety</p> <p>Good design optimises safety and security, minimising the risk of personal harm and supporting safe behaviour and use.</p>	<p>The project builds upon principles of Crime Prevention Through Environmental Design, with consideration of visibility and passive surveillance of main entry points on Murray St. The distinction between public and private spaces is very clear, and of particular importance for school projects. There is a distinct point of arrival for the school, and a formal sign in process for any visitors from outside the school community. This is a strategy that will be informed by extensive school experience in the current William St CBD location.</p> <p>The existing building has a generous undercroft pulled back off the footpath. This has the potential for misuse as a rough sleeping zone, but it is also an opportunity to be a zone between the footpath and the front door for students to spill out and pause, without impacting on Murray St pedestrian traffic. It is proposed to have a planter box element in this location to provide visual amenity, combined with some secure fencing on the internal face of this so that it can be closed off after hours. This secure zone strategy would extend to the undercroft arrival area to the separate entry door for the ASC and ASCI arrival zones.</p> <p>Vehicular transport considerations are informed through consultation with ASC, ASCI, SGAGS and the project team including the specialist traffic engineer and waste consultant included within the team. Arrival to the basement parking area is from an existing secure ramped arrival point that is unchanged from the existing building situation.</p> <p>The existing street trees adjoining the project in Murray St will not be affected by the project.</p>
<p>9. Community</p> <p>Good design responds to local community needs as well as the wider social context, providing environments that support a diverse range of people</p>	<p>The function of this building is, by its nature, focused on community, learning and future generations. The Anglican School Commission has a proud and demonstrated record of inclusivity and engagement with the wider community. It is also an organisation that has been growing strongly on the basis of service to the community, and the ability to flex and adapt to change and future need. The ASC commitment to diversity and social interaction has permeated the design process, and their interactions with the design team.</p>

and facilitate social interaction.	<p>The building components are focused on a functional, structural and engineering framework that can accommodate change and revised fitouts over time. This is also reflected on the staging of the project works, with both workplace and learning/ teaching needs and expectations constantly evolving. The design is not expected to stand still over time, but the functional framework that it sits within will support change and fitout revisions.</p>
<p>10. Aesthetics</p> <p>Good design is the product of a skilled, judicious design process that results in attractive and inviting buildings and places that engage the senses.</p>	<p>The existing building is a product of its era, a functional and practical solution suited to its purpose. The new development, as an adaptive re-use project, does not seek to subsume or disguise the existing building. However, the project is an exciting opportunity to re-imagine a 1980s generic office development as a strong, community focused organisation and school with a proven record of integration with the wider Perth community. It is also an important opportunity to provide a new development to an inner west city precinct that has not enjoyed the level of attention and revitalisation that other precincts have.</p> <p>The design was a product of a design competition held with participation from architects across Australia. The current design has stayed true to the original winning design intent, with a focus on a clear design strategy for the short and long term.</p> <p>The design is a series of connected elements that express their internal functions, and is not shape making for its own sake. The articulation of the building form is based on a limited palette of materials, with a focus on the contrasts between solid, glass and translucent elements related to their function. The functional relationships and staging requirements have been clear design drivers throughout the process.</p> <p>The connection between the different elements is the key to both the aesthetic and functional decision making. The external circulation space (the 'red ribbon stair') for school areas provides connection, outlook, external space and an expression of the organising force underlying the design. It also adds an element of playfulness and vibrancy to a functional building with a community focus.</p>



441-445 MURRAY ST REFURB + EXPANSION

RESPONSE TO DRP FEEDBACK

DRP ADVICE NOTE

Document Reference:

DRP ADVICE NOTE -

DRP Recommendation – 441-445 Murray Street, Perth (Adds and Alts for Educational Establishment)

14/02/23

DRP Recommendation – 441-445 Murray Street, Perth (Adds and Alts for Educational Establishment)

That the Design Review Panel, having considered the design of the proposed additions and alterations to existing building for use as a secondary college (Education 2) at 441-445 Murray Street, Perth, ADVISE that the Panel:

1. Generally SUPPORTS the proposal noting the following strengths of the proposed design:
 - a) A valuable benchmark example for the adaptive reuse of an aging and vacant low grade commercial office building.
 - b) A diverse and innovative range of educational and administrative head office uses within a city context, providing important benefit and amenity to the local and broader resident and working community, whilst injecting valuable activity into the west end of the CBD.
 - c) A revised, augmented and improved ground floor and podium streetscape presentation providing optimal passive surveillance and interaction with the public domain.
 - d) Highly visible and connected vertical stair circulation zone expressive of the building function and the vertical nature of the school activities.
 - e) Generous provision of outdoor terrace, recreation and play areas supported by a well considered universal access strategy.
2. NOTES that although the Panel understands that existing structure has been taken through to the proposed addition, however the nil setback to the upper levels may constrain the adjoining properties to the west if and when they develop.
3. REQUEST the proponent:
 - a) Appoint an ESD professional to develop a comprehensive, coherent and coordinated narrative which maximises the opportunity for this development to be an exemplar for sustainable design. The proponent is encouraged to explore opportunities for roof/façade mounted solar panels and mixed mode natural ventilation amongst other ESD initiatives.
 - b) Appoint a landscape professional to develop a landscape narrative that maximises the opportunity to create a unique landscape solution that responds to the educational use.
 - c) Review the design of the external stair to create opportunities for students to pause and interact with each other.
 - d) Consider an opportunity to animate the external stair or introduce a statement feature to the façade in a way that contributes to the public realm.
 - e) Consider opportunities to introduce weather protection and screening to the outdoor terraces to enhance their usability all year round and provide privacy for students.
 - f) Review the materials and finishes of the development, specifically the external stair to ensure the finish is high quality and durable to avoid facing in the north sun over time.
 - g) Review the elements of the design that a conservative privacy, security or safety response, is considered more suitable including:
 - The recessed ground level entries at Murray Street
 - The containment of the roof top active ball sports zone;
 - The external stair including balustrade heights; and
 - Sightlines to all student/staff amenities including bathrooms;
 - h) Consider the addition of floor voids within the existing structure and proposed tower that might facilitate natural light into the deeper areas of the floor plate.
 - i) Consider increasing the provision of bicycle and e-scooter parking facilities noting cycling infrastructure throughout the City will continue to improve.

RESPONSE TO DRP ADVICE NOTE

REQUEST the proponent 3.A :

Appoint an ESD professional to develop a comprehensive, coherent and coordinated narrative which maximises the opportunity for this development to be an exemplar for sustainable design. The proponent is encouraged to explore opportunities for roof/façade mounted solar panels and mixed mode natural ventilation amongst other ESD initiatives.

Design Response:

An ESD consultant has been appointed and is undertaking a full review of the sustainability aspects of the design.

Discussions to date with the ESD consultant, they have confirmed the strong sustainability aspects of the design particularly in regard to the adaptive re-use of an existing building and the significant savings of embodied carbon compared to building a new building.

Mixed mode ventilation is being proposed in some places within the building while noting the current facade is being retained as far as possible within code requirement constraints.

It is noted that while ESD is an important project outcome, which the team is progressing, the City does not have an ESD requirement and ESD will be further investigated during detailed design.

REQUEST the proponent 3.B :

Appoint a landscape professional to develop a landscape narrative that maximises the opportunity to create a unique landscape solution that responds to the educational use.

Design Response:

A Landscape Architect has been appointed and will be developing the current landscape design further. It is understood that this may be a condition of the approval.

RESPONSE TO DRP ADVICE NOTE

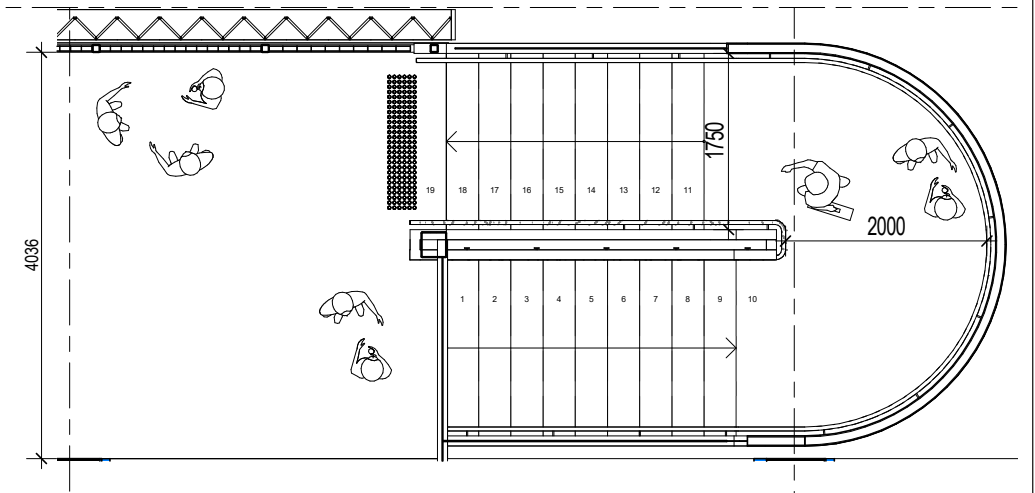
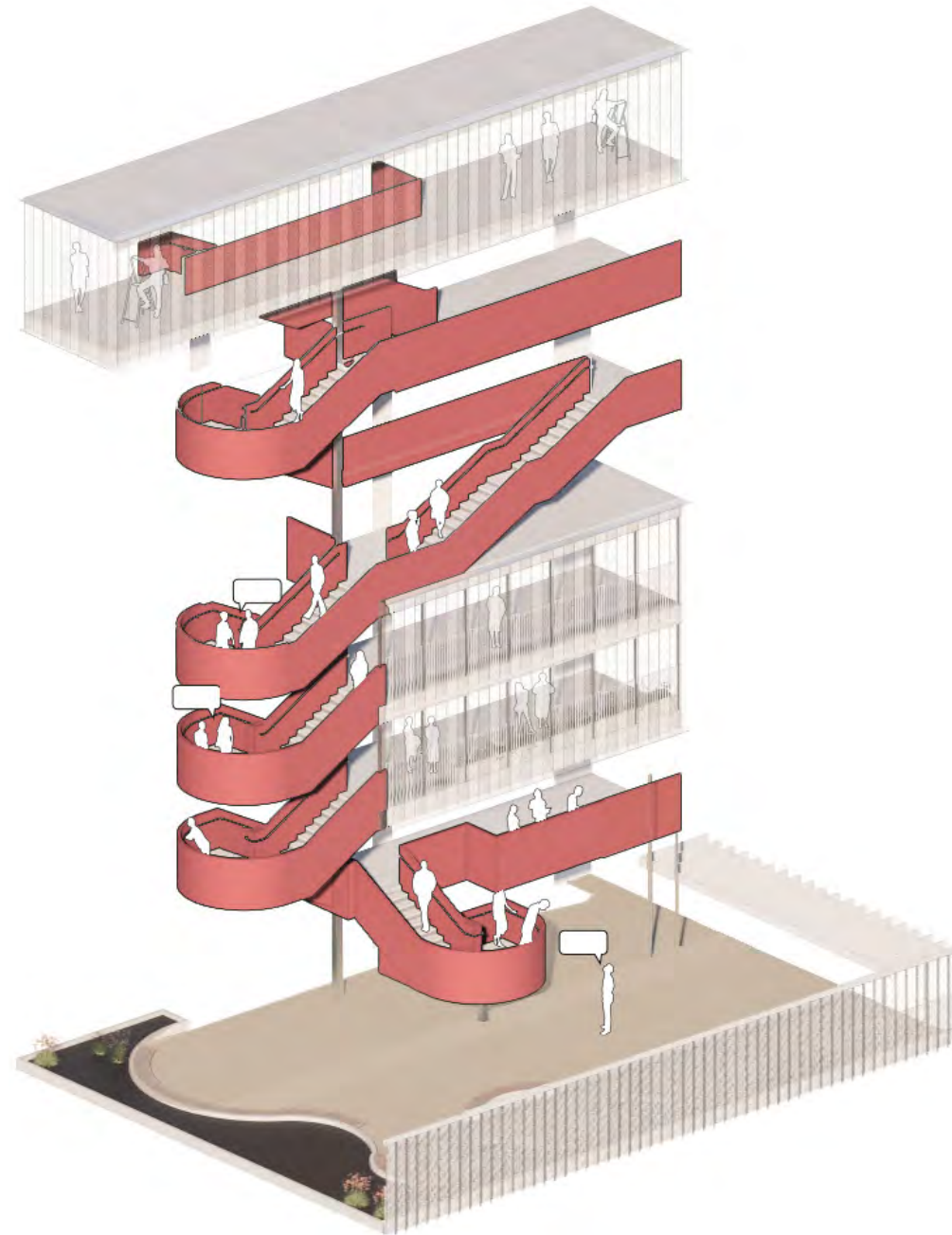
REQUEST the proponent 3.C :

Review the design of the external stair to create opportunities for students to pause and interact with each other.

Design Response:

The 'ribbon' stair concept is an idea to make the movement throughout the school a central part of the identity of the school, within and beyond the building. A distinct element, it is an opportunity to open up the student movement patterns, co-locate informal learning and social spaces, enhance wayfinding and minimise the use of egress stairs for general circulation. It connects a series of external break out spaces that climb up the building.

- The external stair and landings are deliberately oversized to create opportunities for social spaces, student interactions and informal learning.
- The stair runs are 1.75m wide with oversized mid-landings of over 2m wide. This generous size allows enough spaces for students to pause on their way up and down for a variety of casual interactions for example, a quick conversation with a friend between classes, while allowing enough space for other students to pass by.
- The oversized landings create additional external outdoor space on every level of St George's. The external terraces are typically 4m wide and 12.5m long and create generous outdoor spaces for the students to inhabit and enjoy fresh air and sunshine.
- The red ribbon weaves and changes directions as it goes up the building, providing different spatial opportunities at each level. Particular moves have been made to encourage different ways of inhabiting the external spaces at each level. For example:
 - The Level 03 stair has turned 90 degrees and orientated north to allow for interactions with the large Level 02 Terrace. This will be used for variety of ideas by the performing arts students as well as all students and staff.
 - The Level 04 science has planters, operable windows and extended bench space that creates a connection to the biology classroom.
 - The straight stair between level 08 and 09 and extended landing has created a unique opportunity for visual art students learning space at Level 09 with perimeter benching and views of the Perth skyline.
- The design has a level of restraint which allows for students and staff to come up with unique, creative and flexible ways to use these spaces.



RESPONSE TO DRP ADVICE NOTE

REQUEST the proponent 3.D :

Consider an opportunity to animate the external stair or introduce a statement feature to the façade in a way that contributes to the public realm.

Design Response:

External Staircase

- The weaving design and red colour of the stair creates a ribbon like effect that articulates the facade and is a bold expression of movement. The school community will inhabit and use the external spaces, moving up and down to animate the facade further with an ever changing and dynamic expression of connection and learning.
- The expression of the stair on the outside of the building in itself provides an element of playfulness and vibrancy to a functional building with a community focus, and enables connection with the public.

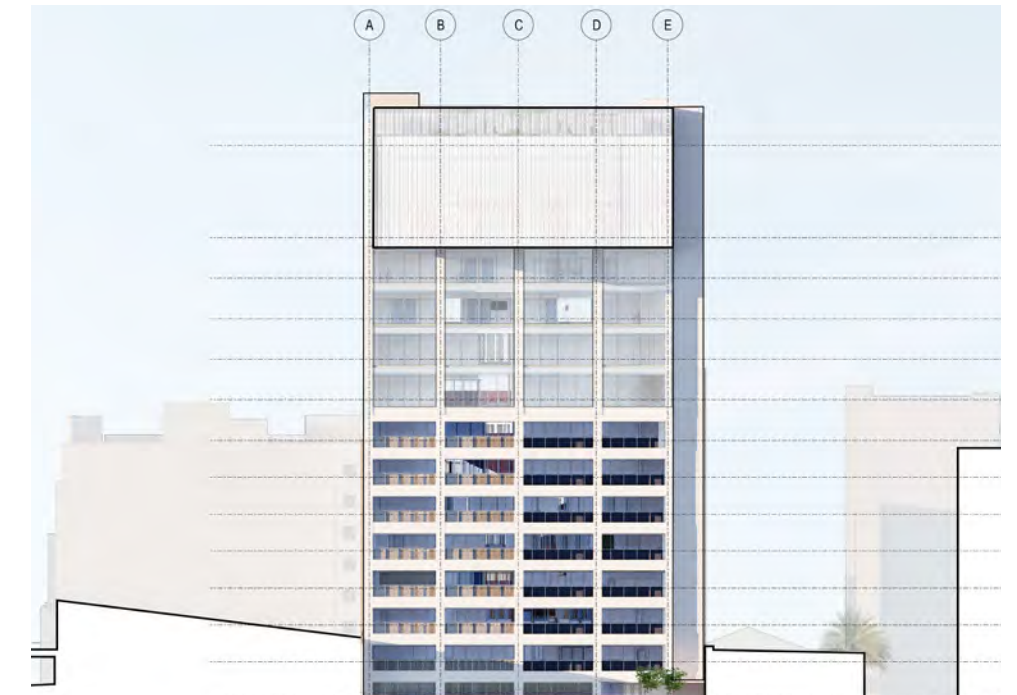
Facade

- The northern facade is articulated with 'moments' of profiled perforated aluminium screens that create a dynamic facade and transforms a office building into a vertical place of learning.
- The four volumes expressed on the northern facade respond to the internal function and express different areas of curriculum within the school. This provides variety and activation within a restrained design palette, showcasing a vibrant and inclusive community to the city.
- In particular, the stage 02 design is crowned by the expressed volume of the gymnasium and roof terrace. This distinctive, translucent element provides a modern entablature to the top of the building that is projected North and South. It can be illuminated to create dynamic feature of the facade.
- The remainder of the South facade is a continuation of the current existing building with slight update to the facade line.
- There is also a design aspiration for lights and projections to be utilised on the blank facade of the adjoining building at the level 02 terrace for school functions or activities. This will further activate and contribute to the Public Realm on Murray Street.

NORTH FACADE



SOUTH FACADE



RESPONSE TO DRP ADVICE NOTE

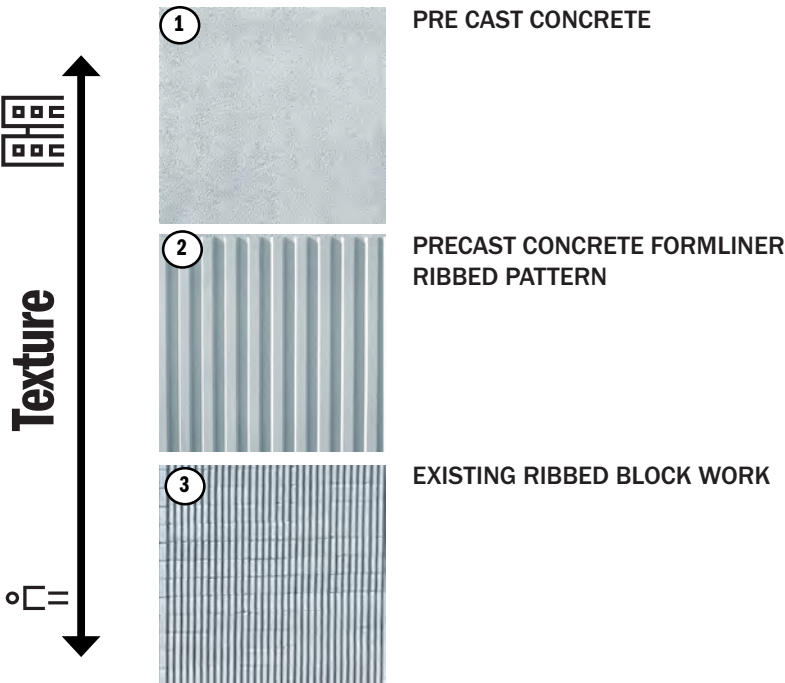
REQUEST the proponent 3.D :

Consider an opportunity to animate the external stair or introduce a statement feature to the façade in a way that contributes to the public realm.

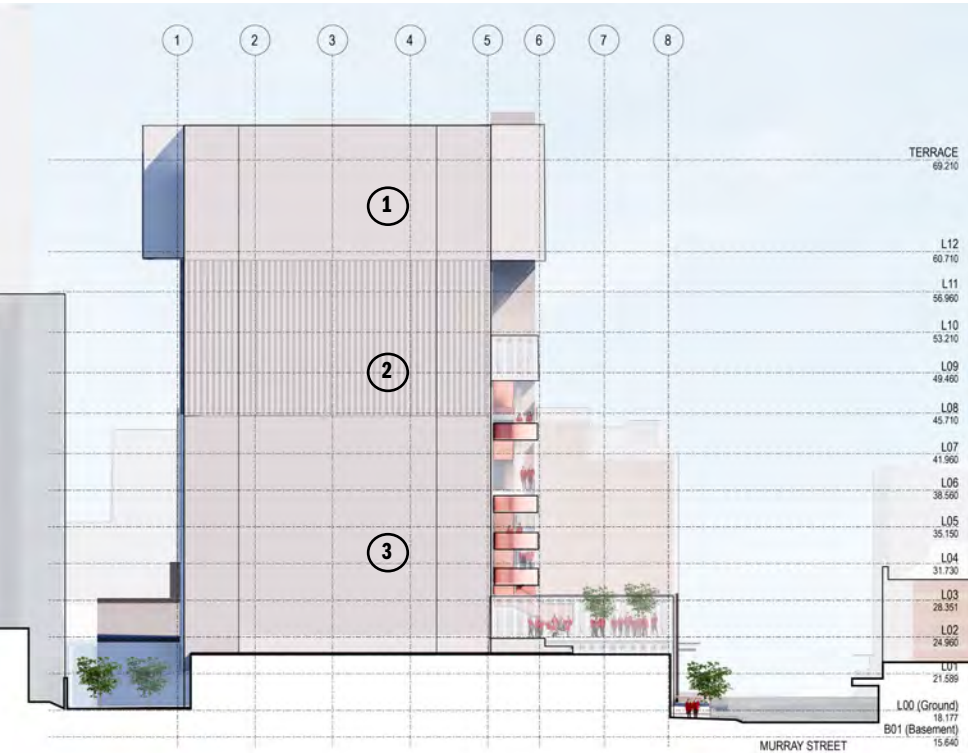
Design Response:

Facade

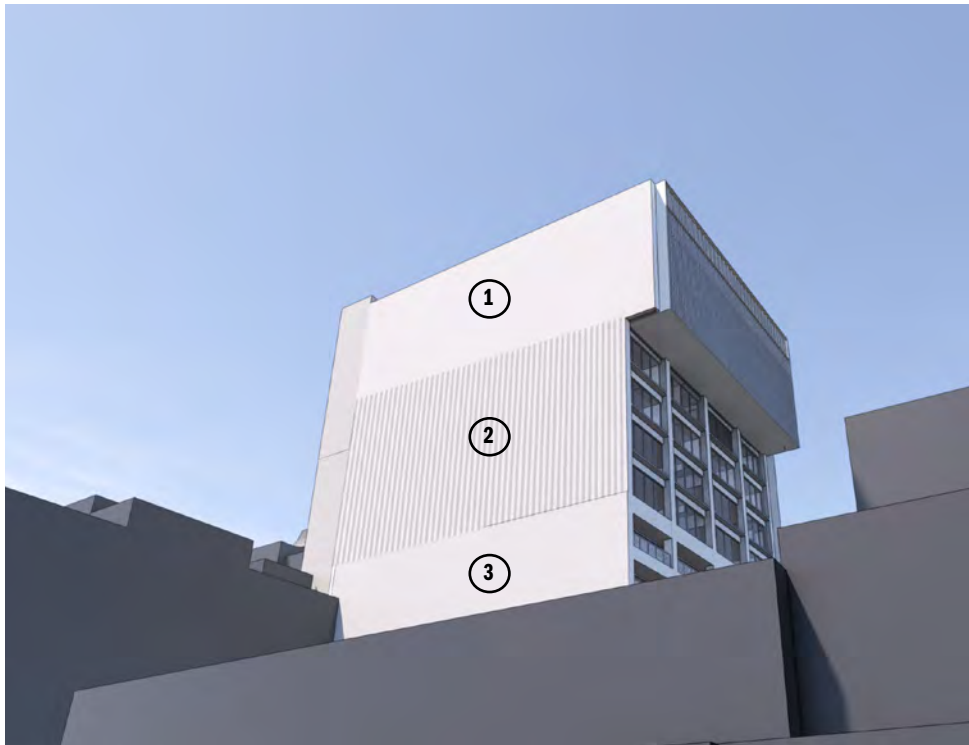
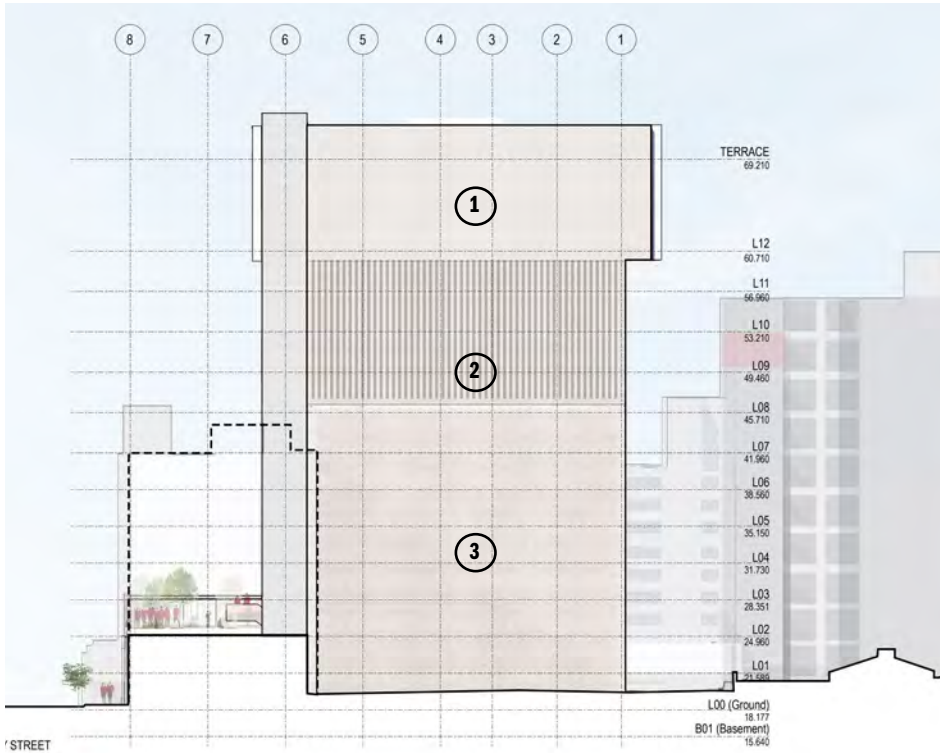
- Seen from near and afar, the façades have a legible profile, depth, scale and texture that works for both city and human scales. The east and west facade are a continuation of the existing ribbed split faced blockwork with the scale and texture become lighter and simpler towards the translucent gymnasium at the of the building. Transitioning to precast ribbed concrete and smooth concrete panels, the design reflects the original design intent and its simplicity is in keeping with the architectural expression of the existing building's style.
- The new external lift core is expressed as a bold element on the West facade and is characterised by brick course patterning to inform datum lines and as a textural element. This creates a subtle feature to animate this facade.
- This also future proofs the adjoining plots for developments, also noting that openings are not allowed in the facade to the East and West as it is on the boundary.



EAST FACADE



WEST FACADE



RESPONSE TO DRP ADVICE NOTE

REQUEST the proponent 3.E :

Consider opportunities to introduce weather protection and screening to the outdoor terraces to enhance their usability all year round and provide privacy for students.

Design Response:

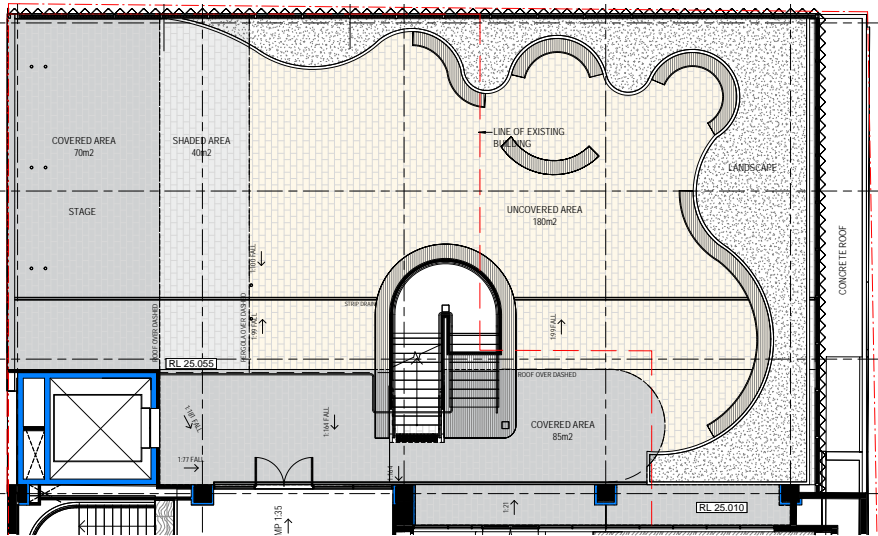
This will be further reviewed as par of the landscape design response. We understand that this may be a condition of the approval.

Note - the current design for the level 02 terrace for covered areas compared to uncovered area:

Covered Areas = 155m²
Shaded Areas = 40m²
Total Area = 195m²

Uncovered Area = 180m²

The perforated metal screen surrounding the Level 02 terrace is over 3m high and provides privacy screening to the courtyard. The student and staff of St George's School have been apart of the city for a long time and this approach is consistent with their experience as an inner-city school.



FLOOR PLAN - LEVEL 02 TERRACE

- Uncovered Area
- Covered Area

REQUEST the proponent 3.F :

Review the materials and finishes of the development, specifically the external stair to ensure the finish is high quality and durable to avoid facing in the north sun over time.

Design Response:

This is being reviewed with the ECI contractor. The design team note that this comment has been discussed and worked through and has been reflected in the colour chosen for the renders (as opposed to a deep/ vibrant red).

We also note that the final materials and finishes will be subject to the City's standard condition.

RESPONSE TO DRP ADVICE NOTE

REQUEST the proponent 3.G :

Review the elements of the design that a conservative privacy, security or safety response, is considered more suitable including:

- The recessed ground level entries at Murray Street
- The containment of the roof top active ball sports zone;
- The external stair including balustrade heights; and
- Sightliness to all student/staff amenities including bathrooms;

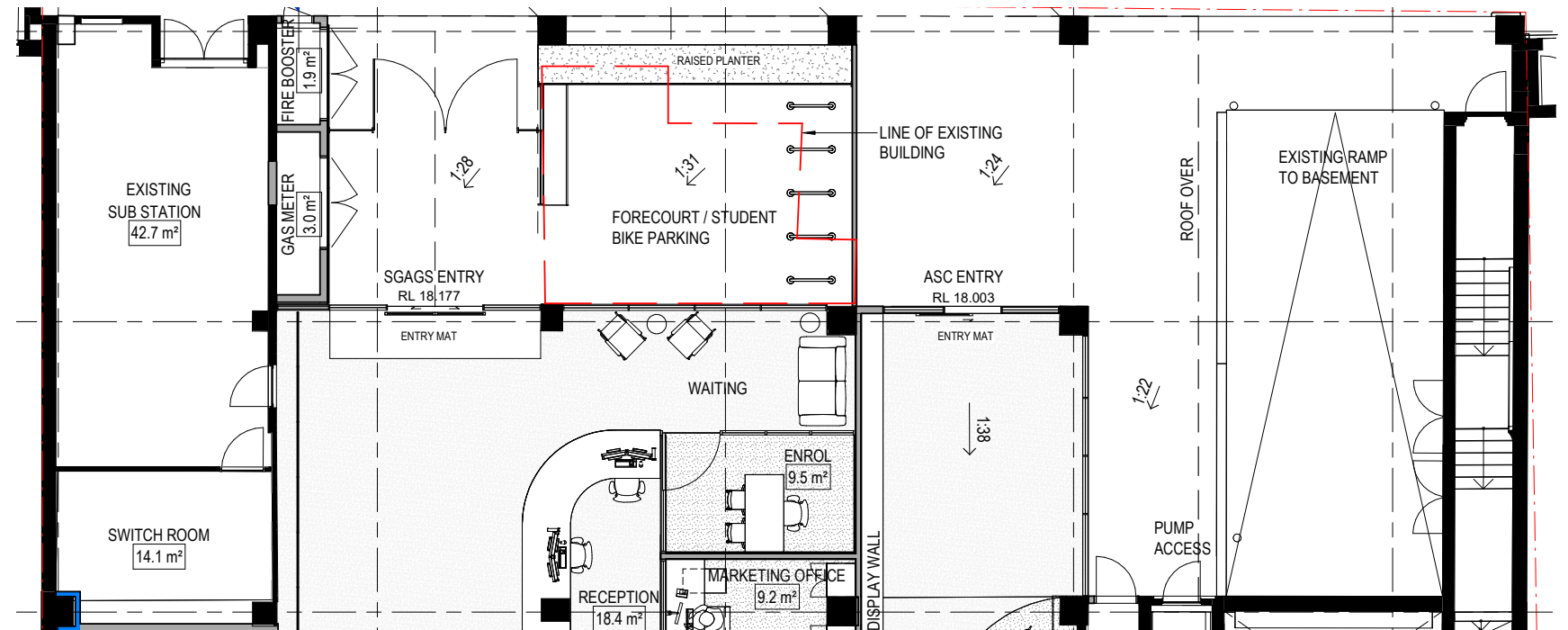
Design Response:

The recessed ground level entries at Murray Street

- The ground floor facade has been rationalised and aligned providing a forecourt space and dual entries to the building. The set-back from the street provides a gathering space for students arriving or leaving school to alleviate large numbers of people gathering onto the footpath of Murray Street.
- This forecourt to the St George's will be enclosed with gates and vertical stainless steel cable fencing to provide security at night. The fencing is slightly recessed between the columns to allow for in-planting and will contribute to the public realm by adding green space.
- The alignment of the gates has been straighten and brought forward and now aligns with the double height entry on the facade.
- Additional planting has been introduced at the front of the ASC forecourt.
- There is 14m of separation between the exit of the students and staff from St George's and the car-park ramp. It is also noted that there a limited number of car bays (10) in the basement, and this is only used by the ASC and school community, who are familiar with the school context.
- Access from the existing fire egress stairs and pump room needs to be maintained and kept unobstructed. The existing levels are at 1:21 slope and therefore the alignment of these doors cannot be changed as it would not comply with level access requirements under the NCC.
- CCTV and lighting will be used as additional safety measure for this area.

The containment of the roof top active ball sports zone

- The design team note the panels feedback and netting will be introduced over the top of the Level 13 roof terrace at the perimeter zones as a containment for ball sports. The central area has louvres already nominated to provide sun-shading and will provide containment for potential balls for this area.
- Note: Ball sports will generally be played in the gym in the level below, however it is acknowledged that despite school management controls, there might be the potential for students use balls on the external Lv13 roof top terrace.



PREVIOUS DESIGN



UPDATED DESIGN

RESPONSE TO DRP ADVICE NOTE

REQUEST the proponent 3.G :

Review the elements of the design that a conservative privacy, security or safety response, is considered more suitable including:

- The recessed ground level entries at Murray Street
- The containment of the roof top active ball sports zone;
- The external stair including balustrade heights; and
- Sightlines to all student/staff amenities including bathrooms;

Design Response:

Sightliness to all student/staff amenities including bathrooms

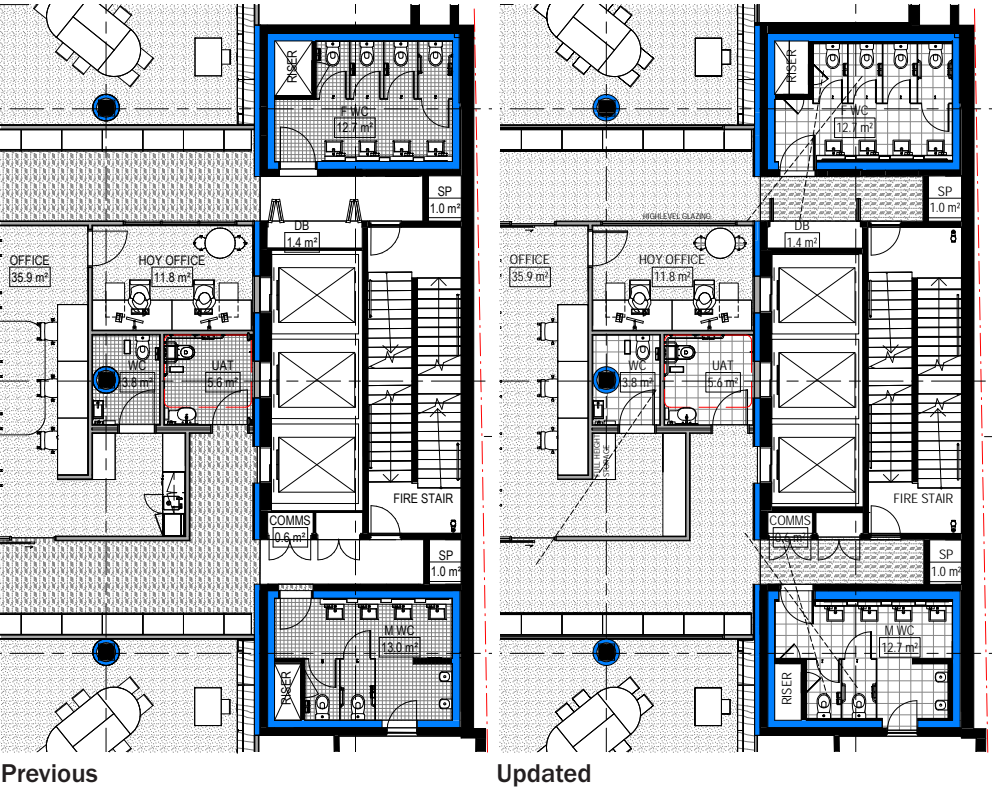
Sight-lines into the core WCs have been addressed by flipping the door which minimises the sight-line into the typical WCs but allows enough space for circulation and compliance with AS1428. The diagram adjacent shows the typical GLA floor. Please note - in addition access to the WCs are off the main circulation corridors.

The layout for the WCs have been limited as it is an existing core and the existing riser cannot be moved, in addition toilets numbers, requirements for AS1428 ambulant toilet compliance, and fire stair and riser access mean that an airlock can't be introduced.

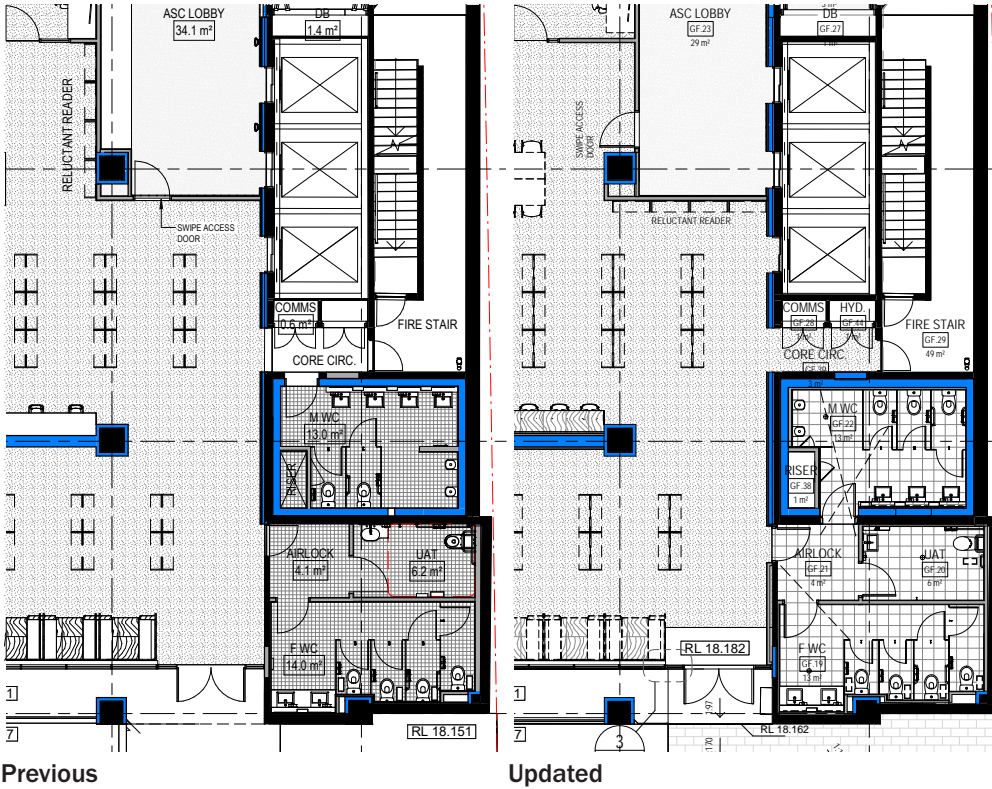
The sight-lines have been improved on the Ground Floor by flipping the layout of the Male WCs with the access now from the Airlock not from the core as above.

The door to the staff area on Level 04 has also been amended.

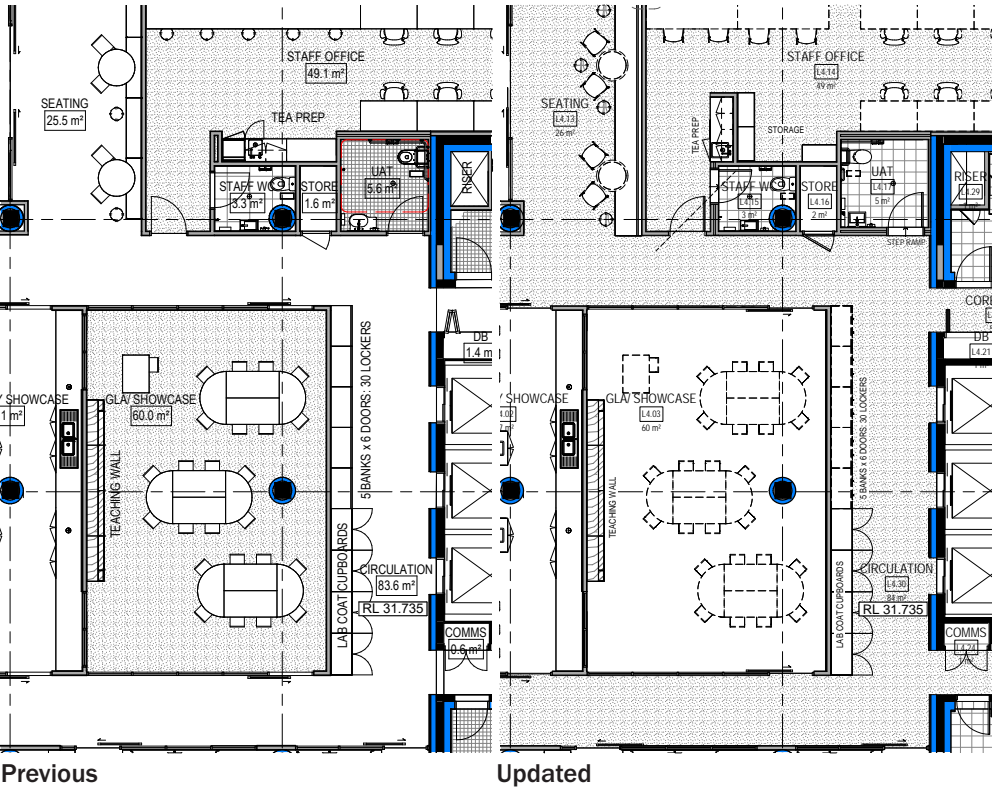
Typical GLA Level WC Layout



Ground Level WC layout



Level 04 Staff WC Layout



RESPONSE TO DRP ADVICE NOTE

REQUEST the proponent 3.H :

Consider the addition of floor voids within the existing structure and proposed tower that might facilitate natural light into the deeper areas of the floor plate.

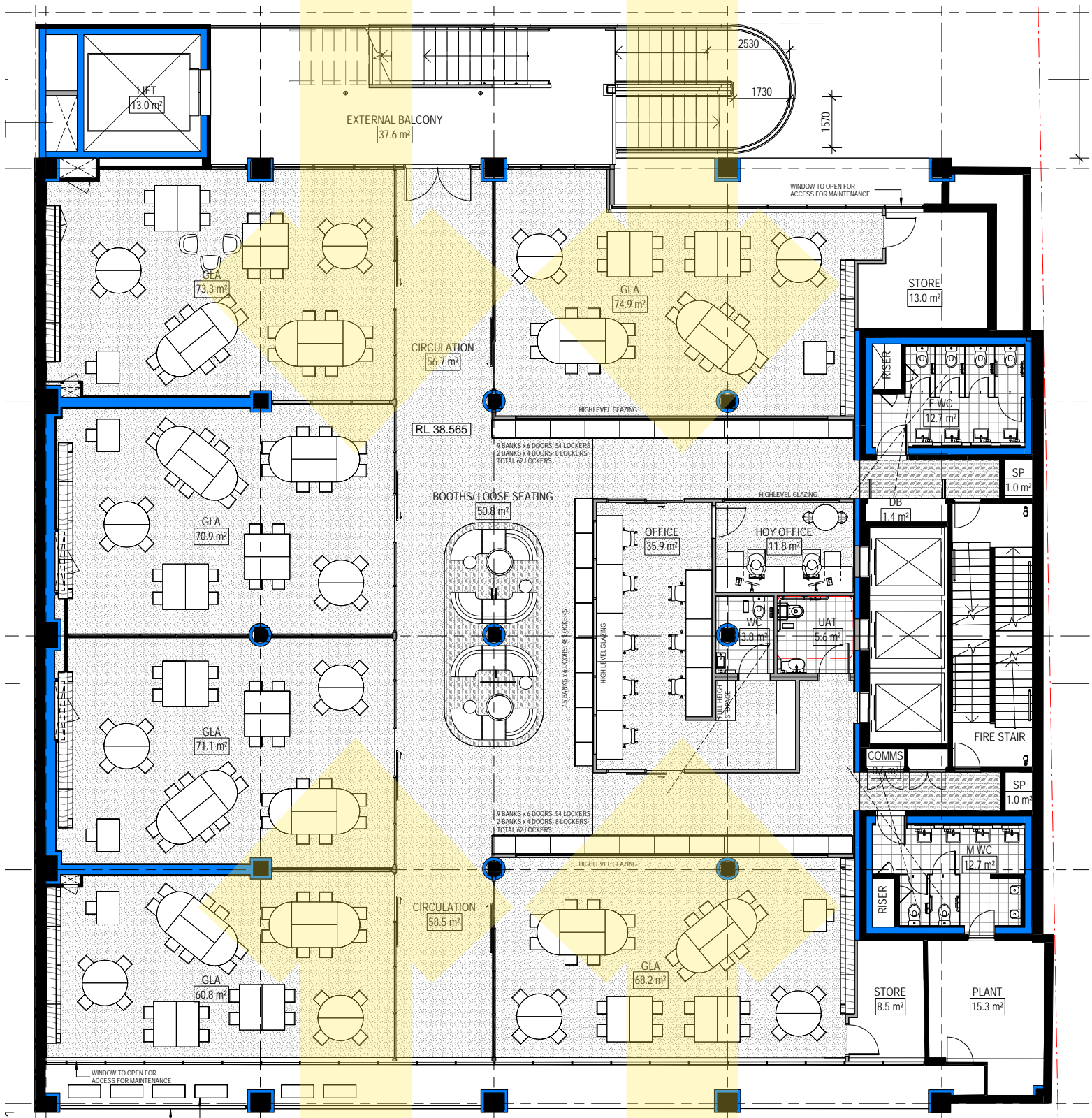
Design Response:

Floor voids were review by the design team as part of the concept design process, however due to the structural limitations of the existing building there are very strict limitations on how this could be achieved.

It is also noted that the aspiration of the design was adaptive re-use of an existing building and to the maintain as much as possible. The opportunity for floor-voids to give light into the existing floor-plates was explored, but discarded, Discussions with ESD consultant noted that the scale of void to have a meaningful impact given the size of the floor plates would not be feasible and would take up a large amount of the limited usable space to the detriment of school function.

The design of the typical classroom floor-plates allows as much light through the building as possible. Light to the centre of the floor-plates is achieved by borrowing light through full height glass walls and highlight windows around the floor plate perimeter. An extra wide central corridor and breakout spaces allow light to come through the centre of the teaching floors. The open and transparent classrooms are an important briefing aspiration of the St George's school based upontheir existing multistorey school environment. Storerooms, WCs and utility space are generally located at the centre of the floor-plates, along with staff areas, which are utilised for shorter periods of time by teaching staff.

TYPICAL GLA FLOOR



RESPONSE TO DRP ADVICE NOTE

REQUEST the proponent I):

Consider increasing the provision of bicycle and e scooter parking facilities noting cycling infrastructure throughout the City will continue to improve.

Design Response:

15 bike parks have been provided between the basement and the ground floor for the ASC and St George's School. This number complies with the requirements for the plot ratio and both the current and future predicted numbers for the ASC and St George's.

There is currently provision for power for electric bikes or e-scooter in the basement.

