



City of Perth
City Planning Scheme
No. 2

Planning Policy Manual – Part 1

Section 6.5
Mount Street Design Policy



Version #	Decision Reference	Synopsis
1	26 June 2001	Adopted
2	1 February 2005	Amended
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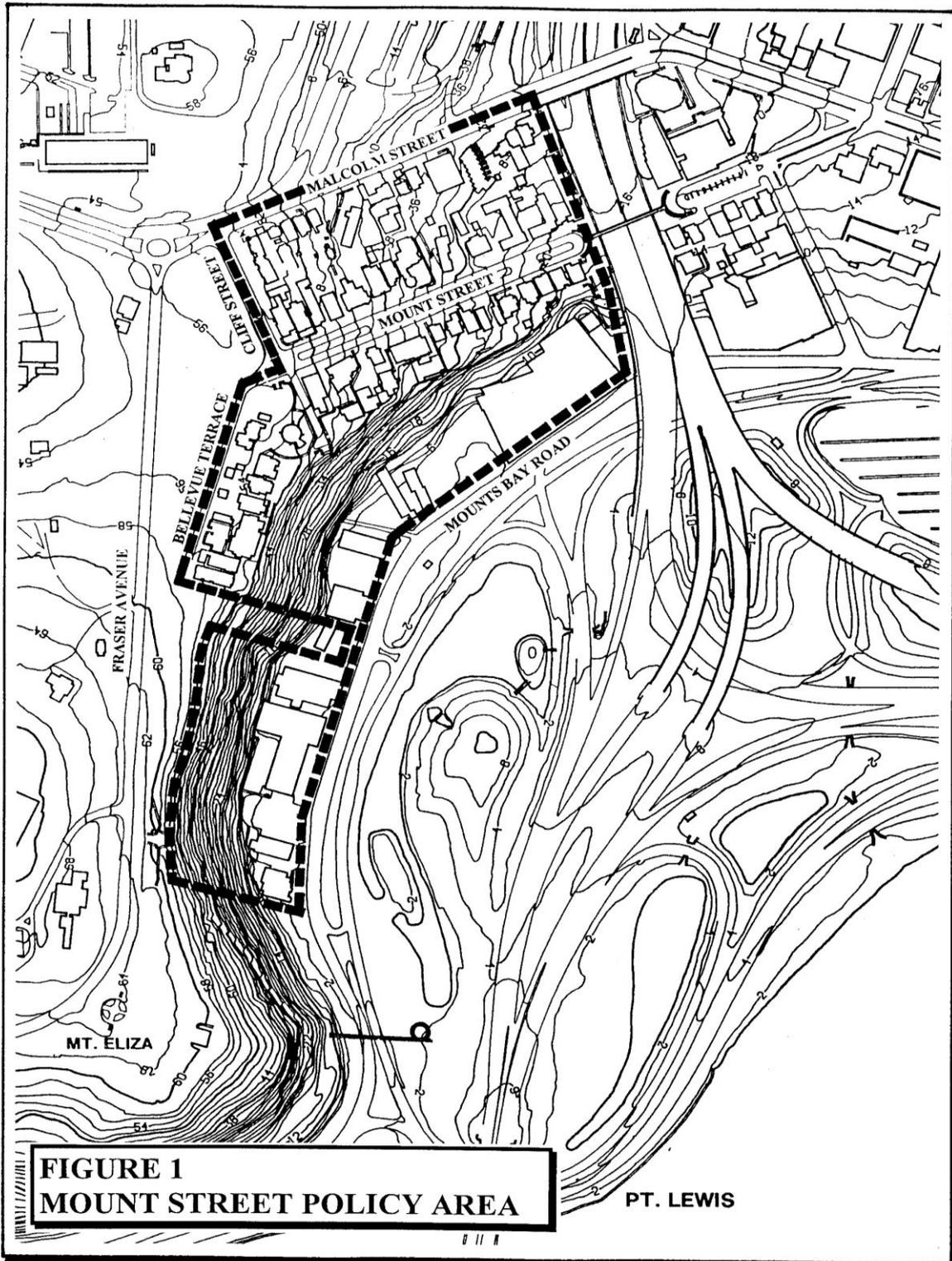
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1.0 OBJECTIVES

- Maintain the Mount Street/Mounts Bay Road area south of Malcolm Street as Inner City urban/residential.
- Protect the area’s natural form and visibility from the Swan River, foreshore and surrounding area.
- Encourage the conservation and enhancement of buildings, places and objects of historical, aesthetic or other significance.
- Maintain and enhance the predominance and quality of landscape and open space in the public and private domains to reduce the impact of buildings.
- Enhance the quality of the streetscape and its private interface to a standard commensurate with the importance of the area as a major gateway to the central city and Kings Park.

2.0 POLICY AREA

This policy shall apply within the area designated on Figure 1.



3.0 POLICY AND GUIDELINES

3.1 Land Use

Objective:

- *Maintain the area as an inner city urban/residential area for a wide range of housing types complementary to the existing historic residential character of the area, with a range of compatible residential/commercial uses on properties fronting Mounts Bay Road.*

3.2 Density/Plot Ratio

Objective:

- *The intensity of new development in the area should ensure that new development is integrated into the existing environment without unacceptably compromising the integrity and amenity of the area.*

3.3 Built Form

Objective:

- *The built form should reflect the natural landform by creating a cascading effect towards the escarpment, ensure the protection of the existing scarp line, and provide for vistas to the scarp and views between buildings to the scarp and Swan River.*

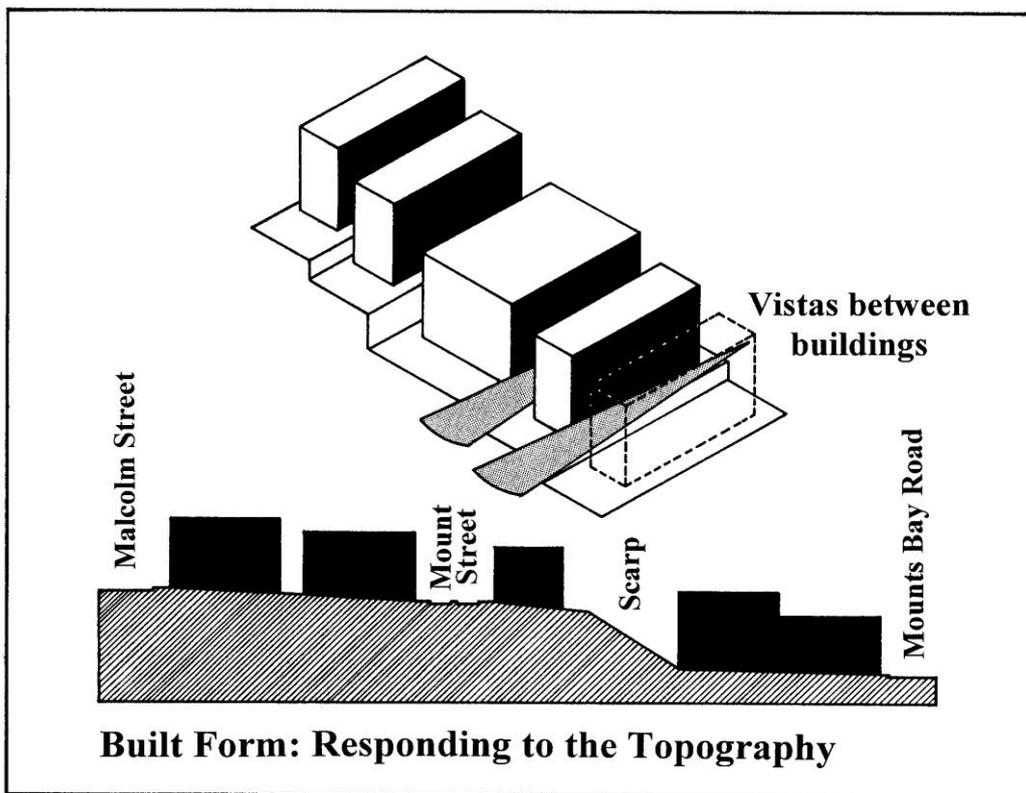
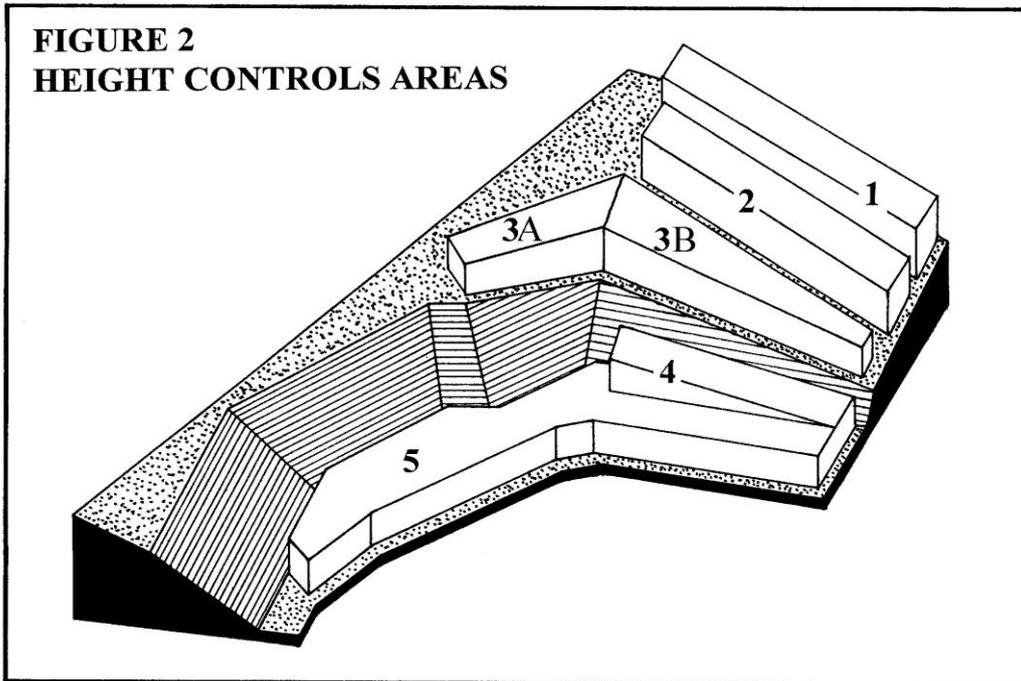
Developments proposed in the policy area should comply with the following provisions in regard to built form:

3.3.1 Height

The height constraints set out below shall apply in each of the areas set out on Figure 2:

- Area 1: A maximum height of 24 m.
- Area 2: A maximum height of 21 m.
- Area 3: A maximum height of 19m.
- Area 4: Below a sloping plane which rises from 20.6m AHD on the eastern boundary of the area to 32m AHD on the western boundary of the area.
- Area 5: A maximum height of 20.6m AHD.

In contrast with the requirements of the Scheme Text, height limits shall be constrained by a horizontal line based on the standards set out above measured from the level of the existing footpath at the centre of the front boundary of the property. Roof level plant and lift overruns shall not exceed the height constraints set out above.



3.3.2 Setbacks

Front Setback

Within the Residential use area established by the City Planning Scheme (Areas 1, 2 and 3) a front setback of 4.5m shall apply. Subject to their level of impact on the streetscape light open verandahs may be permitted to encroach up to a maximum of 2.0 m into this setback area. Within the Residential/Commercial use area established by the City Planning Scheme (Areas 4 and 5) front setbacks maybe reduced to nil.

Side Setbacks

Side setbacks of 3.0m will be required to both side boundaries in order to maintain vistas between buildings. On lots with frontages of 15m, or less than 15m, the side setback on the south western boundary may be relaxed to 1.5m.

Major openings on side walls facing adjoining properties should be treated to address visual privacy, by offsetting major openings, screening, or structural planter boxes, or shall be set back an additional 1.5m.

These setback provisions shall be applied to all structures including basement or undercroft car parking areas.

Rear Setback

Setbacks shall comply with the provisions of the R - Codes with the following exceptions:

- In Area 1 and 2 on Figure 2, a 3 metre rear setback shall be required.
- In Area 3A on Figure 2, setbacks shall be as set out on the survey by Zuideveld and Bennett dated June 1996 amended March 2000 (Appendix 2).
- In Area 3B where setbacks shall be measured from the edge of the escarpment. The position of the escarpment line shall be as set out in the survey by Zuideveld and Bennett dated June 1996 amended March 2000 (Appendix 2).
- In Area 4 and 5 on Figure 2, the maximum height of retaining walls against the scarp shall be 4 metres above natural ground level (NGL) measured from the centre of the front boundary of the site.

3.4 Building Design

Objectives:

- *New buildings should reflect the vertical articulation and regular rhythm established by narrow frontages in the area.*
- *Buildings should be articulated to break down their perceived bulk and avoid large unbroken facades.*
- *New developments should respond in a sympathetic manner to the character and scale of adjoining buildings.*
- *Building design should interpret or incorporate characteristic residential features of the area such as entry statements, front fences, fenestration and other design elements.*

3.4.1 Context

Building design should respond to the scale, mass and grain of surrounding buildings and unsympathetic contrasts of scale and materials should be avoided.

3.4.2 Street Level and Location of Entry

Buildings should establish an interesting and attractive edge to the public realm. While the demarcation between public space and private space is to be clearly established blank walls, heavy planting, and screen walls, are to be avoided.

All buildings should provide an entry which is clearly defined and visible from the street. Such entries should be of a human scale and reflect common features from the locality.

3.4.3 Shadow Patterns/Decorative Features

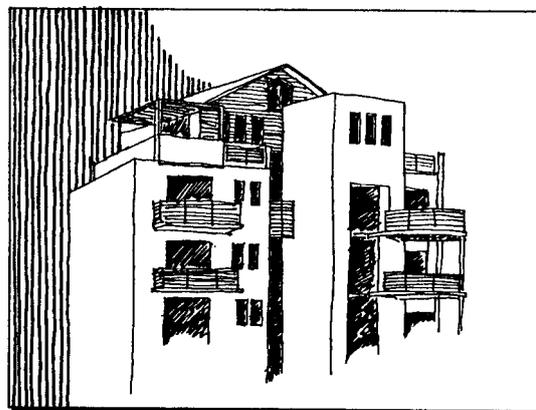
Detail design should be used to add complexity and interest in complementing the overall design approach.

3.4.4 Fenestration

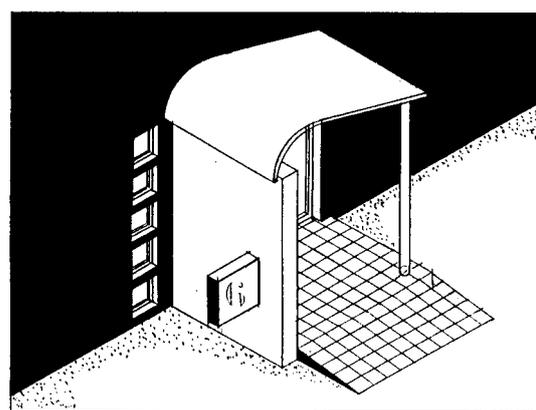
In order to reinforce the pattern of fenestration characterising the area, a strong vertical emphasis should be applied to windows in residential developments.

3.4.5 Roofs

Roofs should be articulated and expressed in a manner that reflects the scale of existing roofs in the area. Rooftop design in Mounts Bay Road should give consideration to appearance when viewed from properties above the scarp.



“buildings articulated to break down their perceived bulk”



“buildings should provide an entry which is clearly defined and visible from the street”

3.4.6 Materials

The use of reflective or mirror glass should be avoided throughout the policy area, and rooftops in Mounts Bay Road should not use reflective roofing materials where they may impact on other properties in the area.

3.4.7 Heritage

Where existing places are deemed by the local government to have cultural heritage significance and included on the Heritage List the local government will, where practicable, seek to conserve or enhance such places in whole or in part by providing incentives and/or granting modifications or relaxations to development requirements under the provisions of clause 12 of the Deemed Provisions or this policy.

3.5 Environment and Amenity

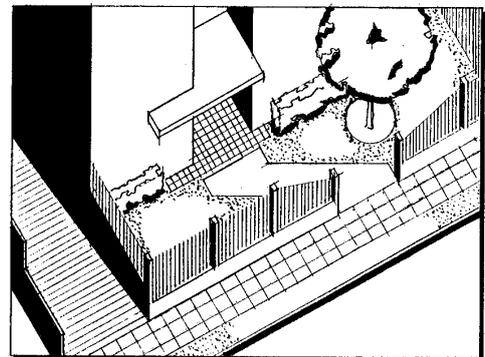
Objectives:

- *To provide for a standard of quality in development which is in keeping with the prominence of the area, and reduce the impact of buildings by enhancing the predominance and ambience of landscape and open space in the area locality.*
- *To ensure the provision of landscaped front gardens visible from the street.*
- *To ensure that new development does not unacceptably impact on the amenity of the area.*

3.5.1 Front Fencing

Front fencing should generally be of an open construction with masonry piers and a dado wall. Piers shall be a maximum of 1800mm high, and any solid dado shall have a maximum height of 500mm. These heights shall be calculated above the adjoining pavement level. Infill panels shall have a minimum of 75% of the surface area permeable.

Any front fences provided in the Residential/Commercial use area established by the City Planning Scheme should be of a pedestrian scale and shall make provision for pedestrians to sit on dado walls.



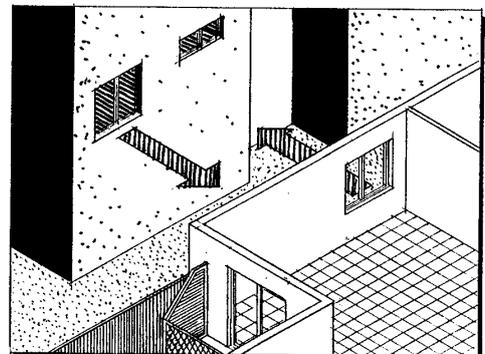
“landscaped front gardens should be provided”

3.5.2 Scarp Fencing

Fencing on, or near, the escarpment line shall minimize the visual impact on the escarpment, and retaining walls within three metres of the scarp should be a maximum of 1.5 metres high.

3.5.3 Landscaping

Landscaped front gardens, comprising a mix of hard and soft surfaces, with extensive in ground planting of grass, scrubs and trees, should be provided throughout the policy area, with the exception of buildings fronting Mounts Bay Road.



“offsetting major openings to reduce visual intrusion”



On properties on the south side of Mount Street and the east side of Bellevue Terrace planting should be provided along the southern and eastern boundaries in the area adjacent to the scarp.

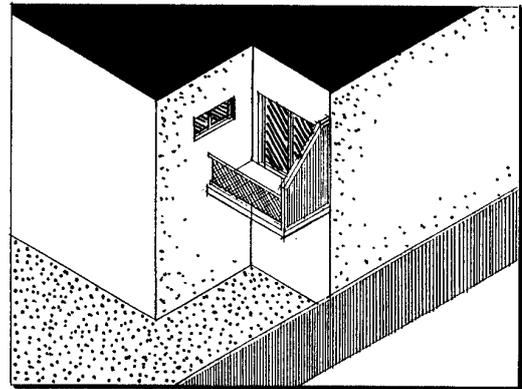
In the block between Malcolm Street and Mount Street planting should be provided along the rear boundary to establish an area of relief within the built environment.

Planting in side setback areas should be limited to maintain views between buildings to the scarp and Swan River.

3.5.4 Visual Privacy

To ensure that new development does not unreasonably diminish the privacy of existing or future residents’ overlooking of windows (particularly bedroom windows) and private open space should be avoided as far as is practicable.

The arrangement of windows and screening devices such as vegetation, lattice screens to balconies, side window screens, canopy projections, high level windows, and obscure glass to non-habitable rooms should be utilised to reduce overlooking to a minimum.



“screening of balconies reduces overlooking”

3.5.5 Acoustic Privacy

Construction materials and techniques used should enhance acoustical privacy between dwellings, and the placement and insulation of air conditioning units shall prevent noise impacts on adjoining properties.

3.5.6 Overshadowing

The effect of any new development will be considered in terms of the potential overshadowing within the development, and on existing building, and outdoor spaces, on neighbouring property.

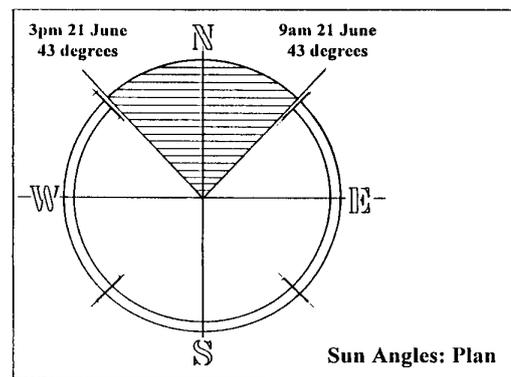
For any development which could overshadow adjacent properties the applicant may be required to provide shadow diagrams showing the effect of the proposal on such properties.

3.5.7 Outbuildings

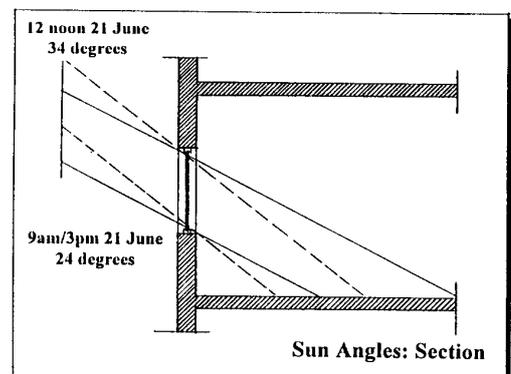
Large and unsightly structures should be avoided particularly on properties adjacent to the scarp on the south side of Mount Street and on the east side of Bellevue Terrace. Outbuildings should be incorporated into or be compatible with the main building.

3.5.8 External Additions

External additions including antennae, satellite dishes, solar panels and pool heating should be located out of public view, on the ground and/or adequately screened. Satellite Dishes over 1.5 metres in diameter shall not be erected without the prior approval of the local authority.



“ensuring adequate winter sun reaches residential units”



4.0 GENERAL PROVISIONS

4.1 R - Codes

Where this policy does not explicitly establish development standards the provisions of the R -Codes shall be applied.

4.2 Variations to the Policy Provisions

The local government, in dealing with an application within the policy area, may relax any relevant requirements of the R - Codes where such relaxations will comply with either the general objectives or specific provisions of this policy.

The local government, in dealing with an application within the policy area, may relax specific provisions of the policy where it is of the opinion that the proposed development fulfils the objectives of the policy, conserves a place of cultural heritage significance, and does not adversely affect the amenity of the area.

REFERENCE TO RELATED PLANNING MATERIAL:

Precinct:

Precinct Plan P10 West Perth

Policies:

Residential Development Policy

Parking and Access Policy

Strategies:

Mount Street Precinct Built Form and Urban Design Study

APPENDIX 1

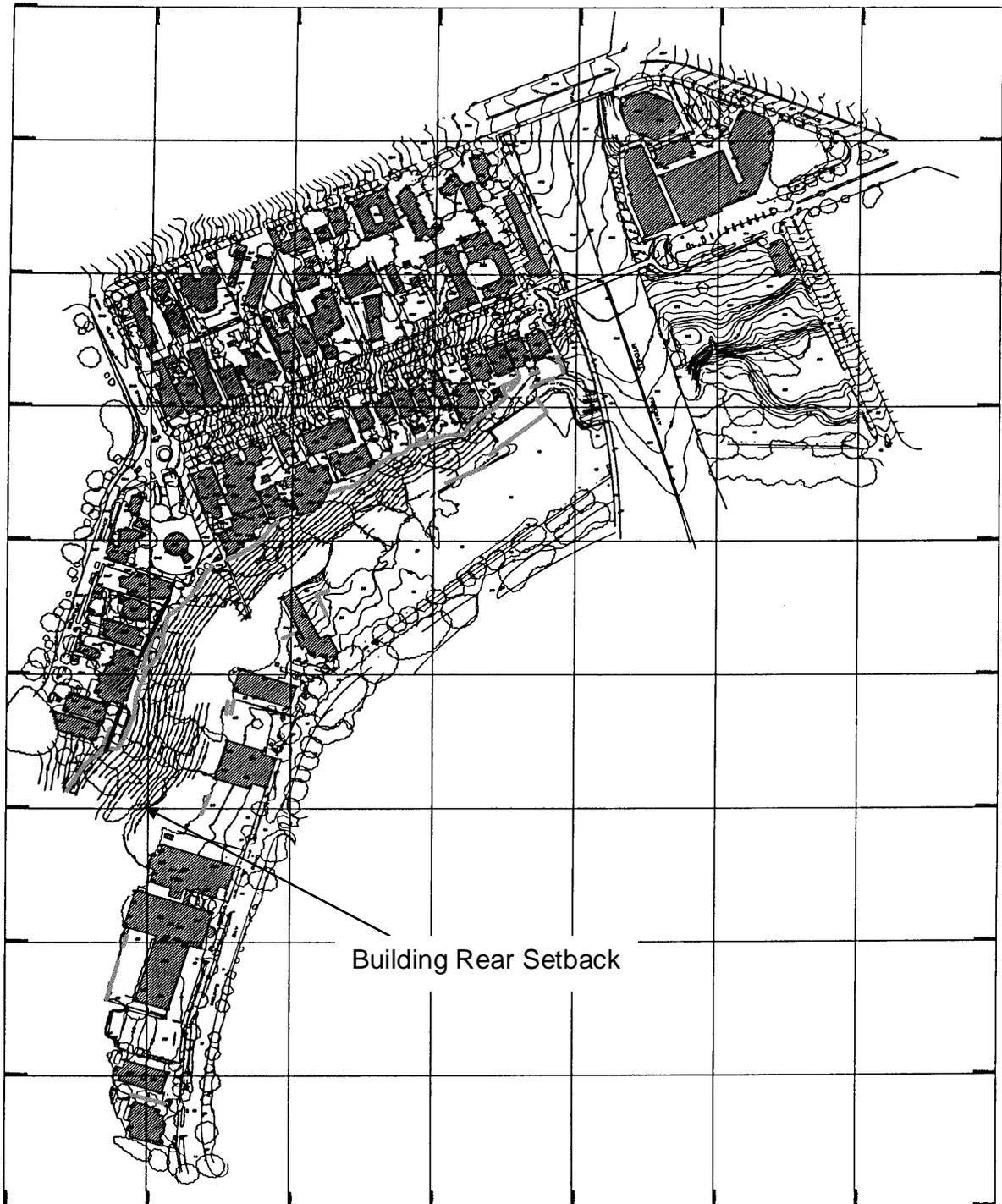
Glossary of Terms

TERM	DEFINITION
Acoustic privacy	The seclusion of residential units from the impacts of intrusive externally generated noise.
Affected by development	Buildings or open space in the immediate vicinity of a development upon which the subject development will impact visually, through overshadowing, overlooking or in some other way.
AHD	Australian Height Datum
Amenity	Defined in the Deemed Provisions.
Articulation	The division or disaggregation of a building into distinct segments or parts, with a clear delineation of the joints between the constituent parts.
Basement	An enclosed area located below the ground floor level of a building and generally used for parking, storage and other such service uses.
Built form	The configuration of the aggregate of all buildings, structures, etc which make up the city.
Bulk	The size or mass of a building; generally referring to structures which in their context appear relatively large.
Cascading	Built fabric characterized by successive stepping down from higher buildings at the rear to lower buildings at the front.
Conserve	All the processes of looking after a place so as to retain its cultural significance.
Context	The environment within which a building is located. The context is relevant in that much of the building's significance or impact is derived from its relationship with, or its effect on its environs.
Cultural Significance	Aesthetic, historic, scientific or social value for past, present, or future generations.
Dado walls	Lower part of a wall which is differentiated by colour, texture or finish from the remainder of the wall.
Decorative features	Distinctive detailing, variations in finishes, texture or colours or other elements such as moldings, plinths etc which add interest to the exterior of a building.
Fenestration	Arrangement of windows in a building.
Grain	Texture of a surface, building, or section of built fabric generated by the arrangement and size of their constituent parts.
Heritage	Buildings, structures or places having aesthetic, historic, scientific or social value for past, present or future generations.
Human scale	Buildings of a size or comprising a range of architectural elements which are of a magnitude and proportion related to our bodily dimensions.
Interpret	Design which critically draws on, adapts, or makes reference to existing architectural features present in the locality.
Major openings	A window, door or other opening in the exterior wall of a habitable room that provides substantial external means of light or view for that room or space, but does not include a opening or openings that: in aggregate do not extend one

TERM	DEFINITION
	square metre in any such wall, (provided that adjoining or contiguous windows at the junction of two walls forming an internal angle of 90 degrees or less shall be aggregated); or are glazed in an obscure material and are not open able; or have a sill height not less than 1.6m above floor level.
Mass	The overall size or bulk of a building.
Natural form	Original topographical configuration of the land.
NGL	Natural ground level.
Non-habitable rooms	A room such as a bathroom, laundry, toilet and other spaces of a specialized nature occupied neither frequently nor for extended periods.
Overshadowing	Structures or buildings which block the access of direct sunlight to habitable areas of surrounding buildings or public and private open space.
Private interface	That portion of private property which abuts the public realm.
Public realm	That portion of the built environment open to general observation.
R - Codes	Defined in the Deemed Provisions.
Scale	Relative size. A large scale building is big in comparison with its context or what is generally accepted. A human scale building has a size or many architectural elements which we can identify with i.e. their size and proportion are related to our bodily dimensions.
Screened	Concealed or obscured from view.
Streetscape	The perceptive quality of a street established by the buildings which line it, and the additional elements which are contained within the spatial frame formed by those buildings.
Undercroft	An open area located below the ground floor level of a building and usually used for parking, storage and other such service uses.
Vertical articulation	Buildings characterized by an emphasis on perpendicular elements.
Views	Range of vision or outlook.
Vistas	Long narrow view between buildings.
Visual privacy	The isolation of residential units and external private open space from the intrusive overlooking of residents of neighbouring properties.

APPENDIX 2

Zuideveld and Bennett Survey of Scarp



Amended – March 2000