



Planning Policy Manual – Part 1

Section 6.6
King Street Heritage Area Design
Guidelines



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Figure 1: Map of King Street Heritage Area.



City of Perth - King Street Heritage Area

STRATEGY UNIT
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Date: July 2009
Scale: 1:1500

1.0 INTRODUCTION

This policy should be read in conjunction with City Planning Scheme No.2 (CPS2) and its associated policies, particularly the Planning Policy for Heritage Places. The King Street Heritage Area Design Guidelines contain additional specific information and guidance applicable to development within the King Street Heritage Area.

2.0 AIM

The purpose of these guidelines is to ensure that development within the King Street Heritage Area respects and enhances the cultural heritage significance of individual buildings and the Area in general.

3.0 POLICY AREA

This policy applies to all development within the boundaries of the King Street Heritage Area, as declared under clause 9 of the Deemed Provisions.

For illustrative purposes, an inventory of properties within the Heritage Area is included in Section 6 of this policy. If any inconsistency arises between the inventory and the boundaries as shown in Figure 1, the latter should be considered to be correct.

Where reference is made within this policy to a ‘heritage property’, this means any place listed in Section 6 as having ‘some/moderate’ or ‘considerable’ cultural heritage significance in the context of the Heritage Area.

4.0 BACKGROUND

4.1 History

In the mid nineteenth century King Street comprised cottages, small shops, coal yards, smithies and foundries. By the 1890s smaller businesses were established in the existing cottages, and larger enterprises had begun to erect substantial offices and warehouses in the area.

The gold boom era of the 1890s resulted in a vigorous program of public works in Western Australia and a corresponding expansion of commerce and trade. In 1904, His Majesty’s Theatre was built on the corner of Hay and King Streets. The majority of significant buildings in King Street were built between the gold boom and the 1920s.

The area continued as a secondary commercial precinct through to the 1970s, with only minor changes to the streetscape. The threat of large-scale demolition for road widening prompted a re-evaluation of the area and the King Street Precinct was Classified by the National Trust (WA) in 1981, and listed as a heritage precinct under the City Planning Scheme in 1985. It was subsequently given national recognition when it was entered on the Register of the National Estate in 1986.

By the 1990s King Street had started to change from a commercial street with a concentration of warehouses, agencies and wholesale outlets, to an area characterised by galleries, restaurants and “high end” fashion outlets. This pattern has continued and spread to the surrounding area, resulting in King Street’s current reputation as Perth’s premium area for boutique shopping and the location of some of the world’s leading fashion and jewellery houses.

4.2 Significance

King Street Heritage Area is of heritage significance for the following reasons:

- It contains a high concentration of commercial and warehouse buildings dating from the 1890s to the 1920s that together represent the history of development of the west end of the city of Perth over that period.
- It is a highly intact streetscape of heritage buildings of similar form and scale that are broadly unified as examples ranging from classically influenced Federation era architecture to the more simplified styles of the inter-war period.
- The area represents the development of the warehouse district that developed adjacent to, but outside, the business and retail centre of the city in the early to mid-twentieth century.
- The area is valued by the community, as demonstrated by the public response to proposals for widespread demolition in the 1970s.
- It is valued for its interactive, vibrant atmosphere that results from its attractive streetscape, pedestrian scale and the retention and adaptive re-use of existing heritage buildings that give the area a depth of character and sense of history.

5.0 POLICY

5.1 Conservation

Given the heritage nature of the area, it is expected that all buildings contributing to the cultural significance of the Heritage Area will be retained. Demolition of any heritage building is therefore not supported.

5.2 Use

It is recognised that adaptation of heritage buildings for new uses is an important way of ensuring their continued viability. The use of a heritage building will primarily be determined by its built form and level of heritage significance. An established or original use will generally be preferred over a new use. Adaptation of a heritage building to house a new use will not be approved if it has an adverse effect on the heritage significance of the place.

The use group table contained in the Citiplace Precinct Plan in CPS2 lists the contemplated and prohibited uses within the Heritage Area.

5.3 Built Form

Existing buildings in the King Street Heritage Area have an established form and scale with which all development, including conservation or adaptation of existing heritage buildings, additions to existing buildings, or construction of new buildings, should be consistent.

There are limited opportunities for new development within the King Street Heritage Area. Where such opportunities exist, the quality of design and materials should be consistent with the historic buildings.

These policies are intended to guide development so that the original heritage buildings remain the dominant visible feature, particularly from the primary street frontage.

5.3.1 Building Height and Setbacks

The scale of buildings in the King Street Heritage Area and the architectural features of the original buildings are the main contributors to the character and values of the area. Most properties were built to two or three stories, which gives a general consistency to the streetscape. Roof lines are normally hidden behind parapets, giving a clean edge to the building façade.

- Additional floors to existing buildings, including any associated plant or services, must be fully contained below a view line from the street (Figure 2).

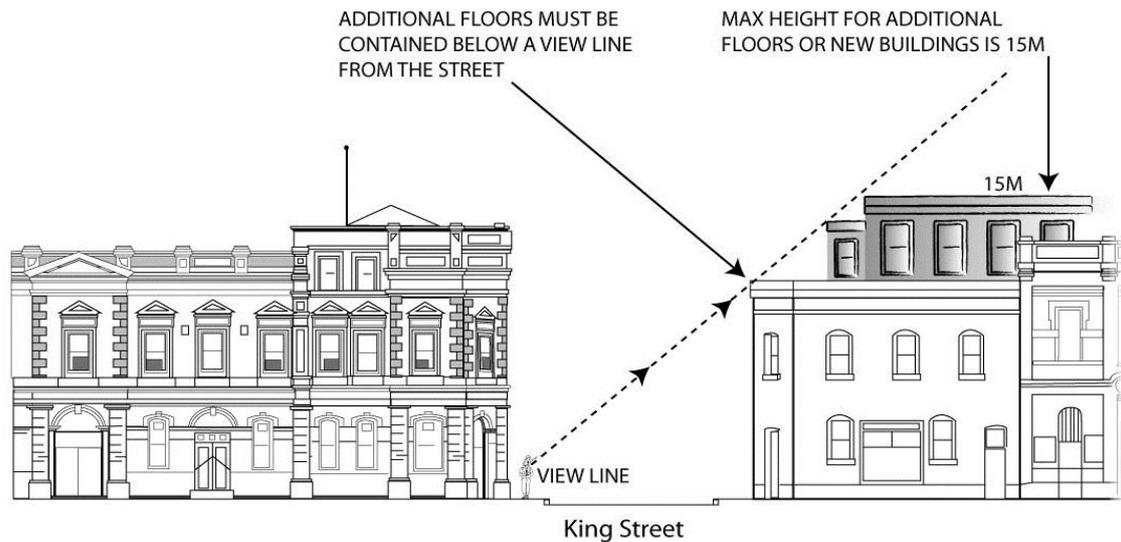


Figure 2: Building height and view lines.

- Where it can be achieved without conflicting with other sections of this policy, the overall height limit for new development, or additions to existing buildings in the King Street Heritage Area, is 15m.

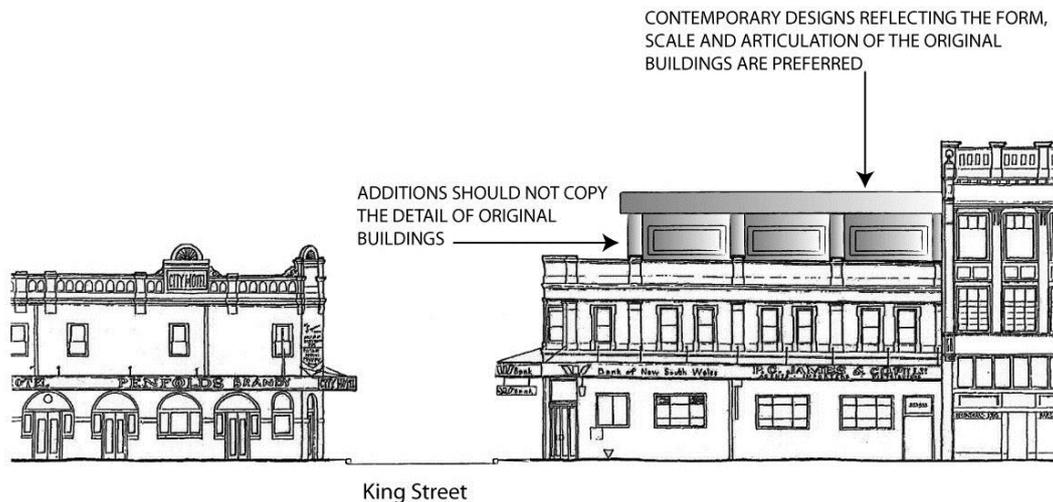
Note: Height is defined in Section 4 of CPS2 as:

“in relation to a building, means the distance measured from the mean natural level of that part of the land on which the building is erected to the highest point of any part of the building but does not include –

- any lift plant, water tower or similar utility or services, not exceeding 3.0 metres in height; or*
 - any architectural feature or decoration (other than a free-standing sign) not used for any form of accommodation which may be approved by the local government.”*
- The street elevation of new buildings should have a zero setback, with a parapet at a height matching the surrounding heritage buildings.
 - Buildings are generally built in terraces, with no side setback. This continuity of façades is an important element in the streetscape and should be retained in any new development.
 - Setbacks from rear site boundaries vary in existing buildings as previous additions have extended backwards. New buildings or further development to existing buildings may be at a zero rear setback, provided all other planning requirements are satisfied.

5.3.2 Upper Floor Additions to Heritage Buildings

Although additional floors or new roofs cannot be visible from the primary street, (as detailed in Section 5.3.1) they will be seen from other view points, so careful consideration of their appearance from all aspects is required.



- The design of new upper floors to existing heritage buildings, including the roof form, should not detract from its heritage significance.
- The form, articulation and detail of additions should be considered carefully and they should not detract from, or dominate, the style of the existing building.
- Simple ‘clean’ lines, contemporary forms and proportions that derive from the original building are appropriate (Figure 3).

5.3.3 Parapets

Heritage buildings in the King Street Heritage Area generally have parapets. The decorative details of many parapets are an important part of the building’s original design style and add to the distinctive character of the Area. The alignment of parapets is the single most important component defining the skyline of the Heritage Area when viewed from the street.

- Parapets shall be retained in the adaptation of an existing building and should remain the main element defining the roof line as viewed from the street.
- New buildings shall be designed with a parapet to the primary street façade. The parapet should be of comparable height to adjacent buildings.
- New parapets may be simple or complex in their design and articulation, but should be designed in a manner that takes account of the form of parapets on the adjacent buildings.

5.3.4 Street Façades

Buildings in the King Street Heritage Area were designed to present the public face of the building to the street and keep service areas to the rear and sides. The façades were designed in a formal manner with equal spacing of windows, stucco decoration to emphasise door and window openings, rendered banding, pointing to brickwork and other features that together give each building its distinctive architectural style. Together this group of buildings gives the Area its significant heritage character.

- Alterations to the main street façade of heritage buildings should be minimised.
- The original pattern of the façade, the relationship of windows and walls and any architectural design or patterns shall be retained.
- Façades of new buildings, even though they may be of contemporary design and materials; should reflect, or be derived from, the articulation of the façades of the existing significant buildings. There shall be a visual harmony between the new façade and the existing street elevation (Figure 4).

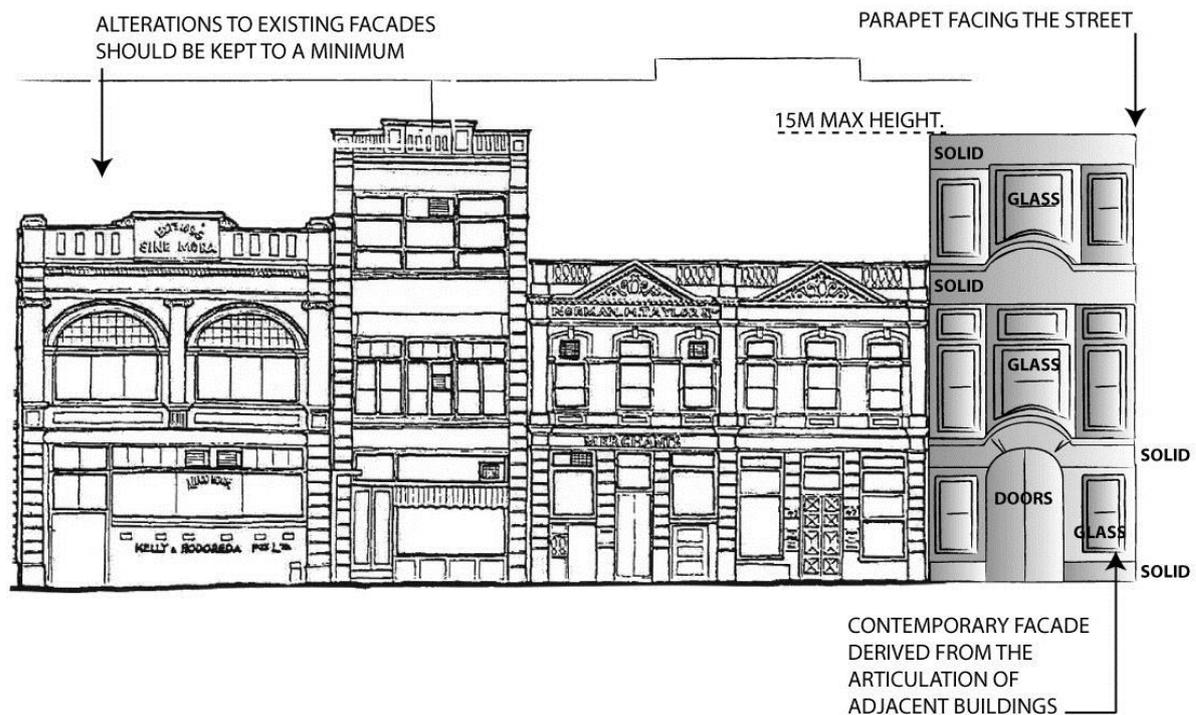


Figure 4: Contemporary Façades

5.3.5 Shop-Fronts

The majority of older buildings in the Area were not designed as shops. Buildings designed as warehouses, or for other commercial (non-retail) uses, should not have shop-fronts installed in them as this requires removal of significant fabric and alters the character of the building and the streetscape.

One of the major adverse impacts of inserted retail frontages is the visual separation of the ground floor from the upper storeys. This occurs through a change in architectural pattern, different materials and, in many cases, the insertion of a canopy. Such adverse changes are not appropriate to King Street and will not be supported for heritage buildings. Reversal of previous changes is encouraged in future redevelopments.

Where shop fronts are renovated or redeveloped, they should aim to complement the traditional nature of King Street's buildings and be readily distinguished from the plate glass and modern materials seen in high streets and shopping malls.

- Shop-fronts will not be permitted for heritage buildings that were not originally built with them and where an early or original façade remains substantially intact at ground floor level.
- Original or early period shop-fronts should be retained and conserved.

- Where buildings that do not have traditional shop-fronts are required to be adapted for retail purposes, existing door and window openings should be utilised where possible. Where the street façade requires some modification to accommodate retail or other uses, the original format and articulation of the façade shall be retained.
- Where modern shop fronts have been inserted, these may be further adapted provided the format of the new shop-front is similar in terms of form and proportions to original shop-fronts. In particular:
 - Re-entrant doors are encouraged (Figure. 5).
 - Shop windows should be designed to have glazing bars (Figure. 5).
 - Shop-fronts should include a plinth or riser that relates to the articulation of the building or adjacent buildings.
 - Shop doors may be partially glazed but should be timber-framed and have a solid doorframe (Figure. 5).
 - Appropriate traditional building materials, scaled to match traditional detailing, are preferred.
 - The design should improve the relationship between the ground floor and upper levels.
- Security should be provided in a way that is sympathetic to the fabric and character of a building and is not unduly intrusive. Roller doors will not be permitted.

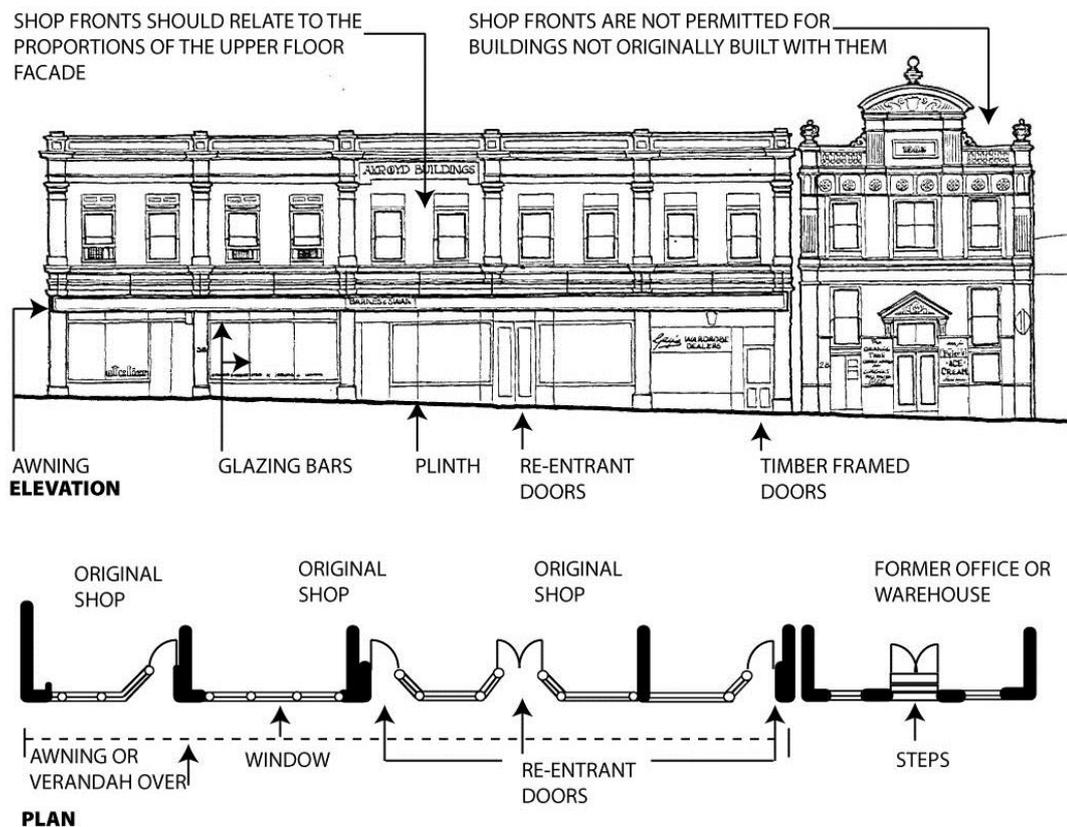


Figure 5: Shop fronts

5.3.6 Development Adjoining Rights of Way (ROWS)

The side and rear elevations of many buildings in the King Street Heritage Area open onto rights-of-way (ROWS). The local government encourages the development of harmonious and innovative designs to integrate these areas into the public realm, particularly Wolf Lane, Munster Lane and Prince Lane.

The rear and side elevations of most of the heritage buildings in the Heritage Area are utilitarian in design. Some retain remnants of earlier warehouse or industrial use such as overhead pulleys and lifting systems.

The simple architecture and the number of recent additions mean that redevelopment of secondary elevations is less likely to impact on the heritage significance of a building. It is important, however, to ensure that the utilitarian character and industrial heritage of this aspect of the Heritage Area is retained (Figure 6).

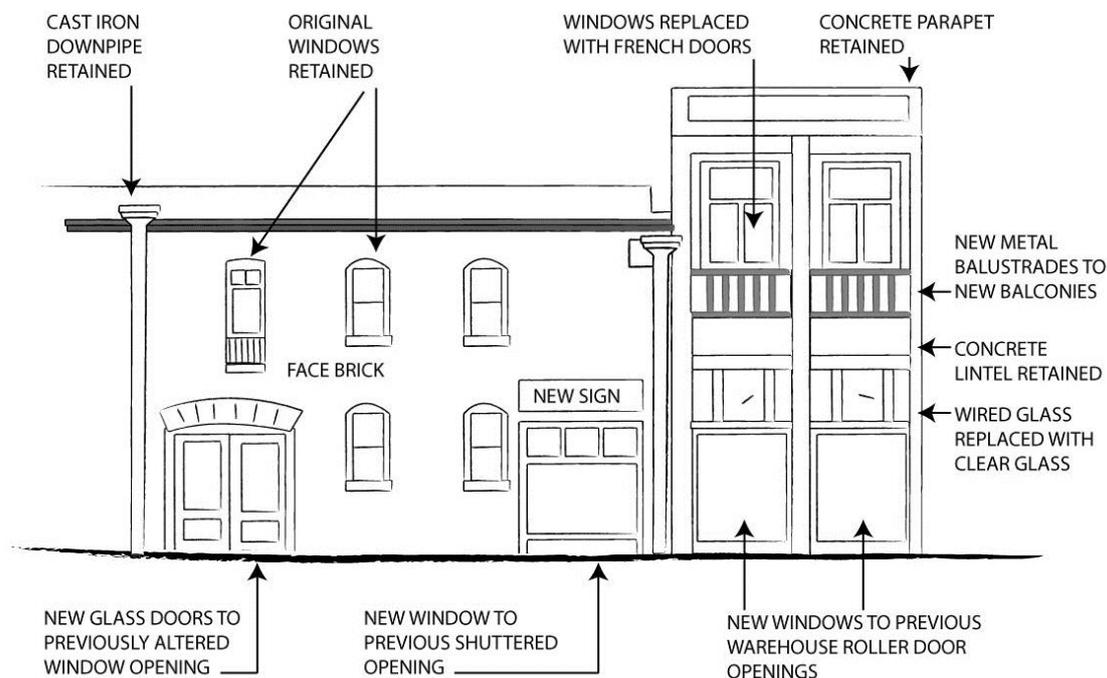


Figure 6: Elevations facing rights-of-way.

- Any development to open the rear and side elevations of existing buildings onto a right of way will be assessed for its impact on the significance of the existing building, the significance of the Heritage Area as a whole and for its impact on, and contribution to, the right of way.
- The side and rear elevations of heritage buildings should not be treated as a primary façade by, for example, adding stucco work or other applied decoration.
- Original window and door openings in side and rear elevations should be retained and used where possible when a heritage building is adapted for a new use.
- New openings may be made, or existing openings enlarged, provided the integrity of the original elevation is retained.
- Where they remain, pulleys, trap doors and other elements that interpret the industrial and warehouse history of the Heritage Area should be retained.

- Where it is necessary to locate modern plant and services adjacent to a ROW, efforts should be made to screen them from view.

5.3.7 Materials and Colours

The building materials used in the King Street Heritage Area are essentially simple, with decorative brick and plaster work and a lack of exotic finishing materials.

New work should use materials that complement the heritage significance and character of the Heritage Area.

Colours that are appropriate to the Area are essentially a reflection of the building materials, and range from light cream to deep ochres, reds and oranges. However, this does not necessarily exclude other colours from being used, provided they harmonise with the streetscape and do not disrupt the characteristic unity of the area.

- Glossy finishes and materials other than in detailing, ceramic tiles, etc., are not considered characteristic of the Heritage Area and should be avoided.
- Previously unpainted or rendered brick walls shall not be painted or rendered over.
- Colour schemes based on evidence of earlier schemes determined on the basis of documentary or physical evidence are encouraged, but not essential.
- Colour schemes should include a range of tones of varying intensity to complement and enhance the complexity of architectural detail and decoration of the existing buildings.
- Monochromatic schemes are not appropriate on the heritage buildings in the Heritage Area and should be avoided.
- Colour schemes that deviate from these recommendations may be approved if it is considered that they do not detract from the significance or character of the area.
- ‘Corporate standard’ colour schemes or materials that are not sympathetic to the character of the Area will not be supported.

5.4 Lighting and Street Fittings

While the external fittings of a heritage building have minimal impact on heritage significance, the right choice of accessory can assist in maintaining the special character of the Heritage Area.

- All external lighting of buildings should be designed in such a manner as to complement the character of the Area.
- Modern sympathetic lighting is preferred to “Olde Worlde” or mock heritage lighting that has no authenticity of design.
- Free standing awnings, umbrellas and other elements required for alfresco dining etc should comply with the local government’s Alfresco Dining Policy and not seek to compete with the visual dominance of the heritage buildings.

5.5 Advertising Signage

All signage on buildings in the King Street Heritage Area requires development approval and should satisfy the City Planning Scheme No. 2 Signs Policy.

6.0 INVENTORY

Properties within the King Street Heritage Area have been assessed for their contribution to the cultural heritage significance of the Area. There are two groups that are considered to make a positive contribution and are referred to as ‘heritage buildings’ – those of considerable significance and those of moderate/some significance.

Buildings that are not considered to be contributory to the heritage significance must still comply with any local planning policy in regard to redevelopment in whole or part, as new works have the capacity to disrupt and detract from the Heritage Area if they are not managed appropriately.

Places of Considerable Cultural Heritage Significance in the context of the King Street Heritage Area

810-820	Hay Street – Harpers Building	RHP 2007
825	Hay Street – His Majesty’s Theatre	RHP 2006
569	Wellington Street – fmr Wesfarmer’s Building	RHP 2143
605	Wellington Street – fmr Railway Institute	RHP 2146
30-38	King Street – Ackroyd Buildings	
339-347	Murray Street – City Hotel	

Places of Some/Moderate Cultural Heritage Significance in the context of the King Street Heritage Area)

838-842	Hay Street – Durham House
325-331	Murray Street – Murray Mews
333-337	Murray Street – SEC Substation
357-363	Murray Street – Munster House
585-587	Wellington Street
356	Murray Street
573	Wellington Street – Wills Building

(N.B. The portion of the building located at 82 King Street is not considered to contribute to the cultural heritage significance of the Heritage Area)

826-834	Hay Street – Monash House
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(N.B. Buildings with street addresses 29 and 31 King Street are not considered to contribute to the cultural heritage significance of the Heritage Area)

33-35	King Street
37	King Street
39-41	King Street – Kelrod House
40-44	King Street
43	King Street
45-45a	King Street
47	King Street
46-48	King Street



61-65	King Street
64-68	King Street
69	King Street
67	King Street
70-72	King Street
74-76	King Street
73	King Street
77	King Street
75	King Street – Smithmore House
575-579	Wellington Street – Tranby Building
581-583	Wellington Street
822-824	Hay Street – Cnr King Street
826-834	Hay Street – Monash House
349-355	Murray Street – Bushell House
352	Murray Street – Anchor House
360	Murray Street – Andrews House
804-808	Hay Street - Dobbies

Places considered to have no cultural heritage significance

836	Hay Street
342-344	Murray Street – Fleet House
334-340	Murray Street – Hotel Ibis