



**Planning Policy Manual – Part 2**

**Planning Policies and Design Guidelines for Normalised  
Redevelopment Areas**

**Section 2.23**  
**East Perth – Area 23**  
**The Quadrant**



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2	17 March 2015	Amended
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## 1.0 GENERAL

### 1.1 Application

These guidelines relate to Lots 101 - 115 Vanguard Terrace. This area is within the Constitution Street Precinct (Precinct EP2) as defined in the City of Perth Local Planning Scheme No. 26 (Normalised Redevelopment Areas) (herein called ‘the Scheme’).

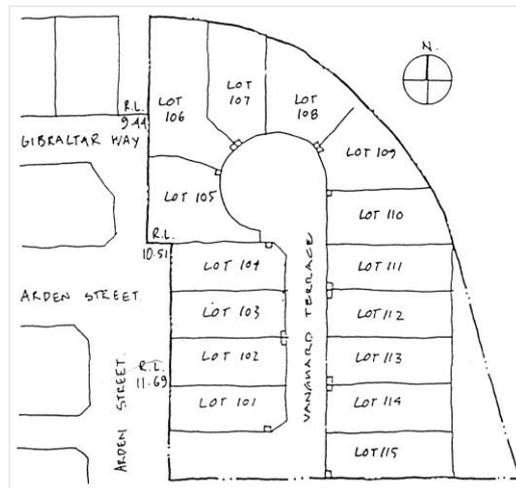


Figure 1: - The Quadrant

### 1.2 Relationship to Planning Scheme and Planning Policies

These Design Guidelines are intended to supplement the provisions of the Scheme and should be read in conjunction with the Scheme, in particular those provisions relating to the Claisebrook Village Project Area, Precinct EP2: Constitution Street, and other Planning Policies.

The Deemed Provisions set out in the *Planning and Development (Local Planning Schemes) Regulations 2015* also form part of the Scheme Text.

The Scheme identifies Preferred, Contemplated and Prohibited uses for Precinct EP2: Constitution Street and stipulates maximum plot ratio. In determining any applications for development approval, the local government will have regard to these Design Guidelines, the Scheme and other Planning Policies.

### 1.3 About these Guidelines

The guidelines set out the desired approach to those matters which influence the character and built form of the area, in order to achieve an attractive and harmonious living environment for residents and the community. The local government may refuse Development Approval for developments not considered to be in keeping with the intent of the guidelines.

### 1.4 Density and Lot Yield

All allotments are for single dwellings only and are subject to the local government being satisfied as to the design quality of the proposed development and conformity with all other planning and development requirements.

### 1.5 Geotechnical Site Conditions

Owners are advised that geotechnical briefing notes are available for inspection at the local government's offices if required, however it is the responsibility of each owner to ensure that the design of their dwelling is suitable for the site conditions of their lot.

## 2.0 BUILDING DESIGN PARAMETERS

### 2.1 Site Works

Site works are to comply with the following criteria to optimise views available from each site. The following stepping of levels is to be observed:

#### Lots 101-104

Ground Floor Level:

- Between 0 and 1.0m above the level of the centre of each lot measured at the Arden Street boundary.

Garage Floor Level:

- FFL's vary for each Lot due to the slope of the Vanguard Terrace. The FFL must not exceed 1m above the Vanguard Terrace boundary (measured at the centre the Vanguard Terrace boundary).

#### Lot 105

Main entrance to dwelling and garage is to be from Gibraltar Way. Garage RL to be 10.30 (Refer to Fig 15).

#### Lots 106-115

- Entrance Floor and garage FFL shall be not more than 0.5m below the RL of the centre of each lot measured at the centre of the Vanguard Terrace boundary. At grade FFL's are acceptable.
- All sectional and building envelopes are to be correspondingly interpreted as above.
- In addition, Figures 5 & 11 (the sectional envelopes for Lots 105 and 108 & 109) are to reflect the setbacks stated in the table 2.03 relating to setbacks such that the building be a minimum of 2m from the respective boundaries for the purposes of averaging.
- Dwellings must be designed so that footing loads do not surcharge onto neighbouring lots. FFL means Finished Floor Level.
- RL means Reduced Level. All Levels relate to A.H.D.

### 2.2 Building Envelope

- A building envelope approach is used for three reasons:
  1. to give some certainty as to the bulk of neighbouring buildings;
  2. to ensure that new buildings will be of an appropriate residential scale; and
  3. to ensure that the visual bulk will be appropriate to the desired character of the area.
- Building height and bulk are to be contained within a Building Envelope, with only minor projections allowed for such items as chimneys, finials, awnings, pergolas, balconies, terraces and small portions of bay and dormer windows.
- Lot 101 must incorporate a 3m x 3m truncation in the Building Envelope. Refer to Figure 3.

- Buildings must be designed not to exceed 3 storeys plus a loft. (Refer to Building Envelope diagrams given contours in this area). Split level dwellings are permitted but may not exceed the 3 storey plus loft requirement.

**Building Envelope for Lots 101 - 104**

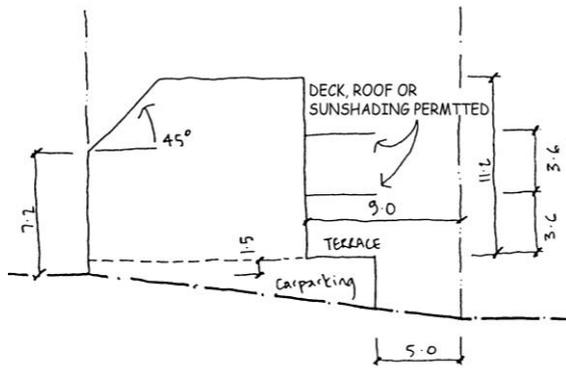


Figure 2: - Sectional Envelope for Lots 101 - 104.

Refer also to Section 2.6 titled 'Terraces to Lots 101 - 104'

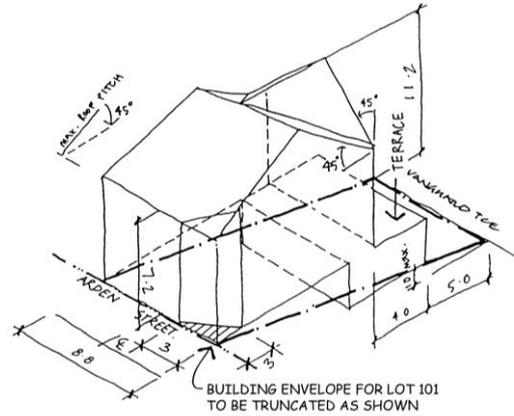


Figure 3: - Diagrammatic Representation of Building Envelope for Lots 101-104.

**Building Envelope for Lot 105**

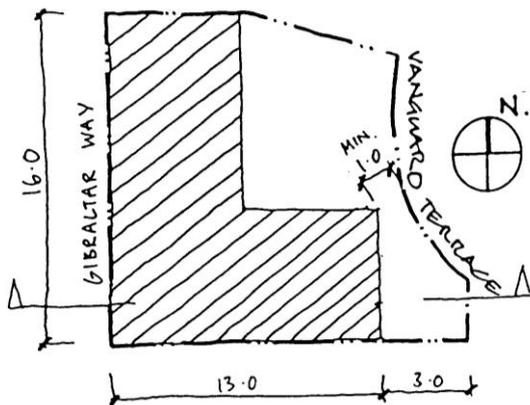


Figure 4: - Plan Envelope for Lot 105

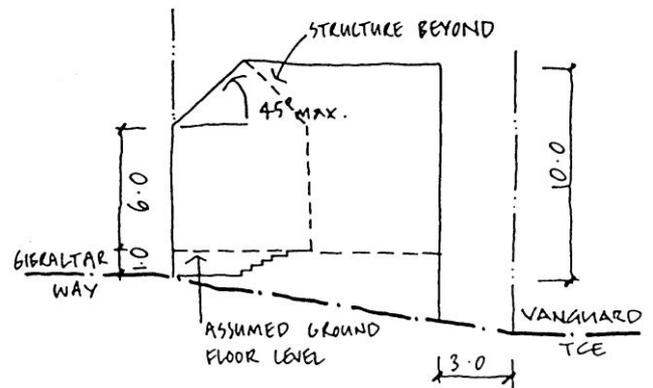


Figure 5: - Sectional Envelope for Lot 105

**Building Envelope for Lot 106**

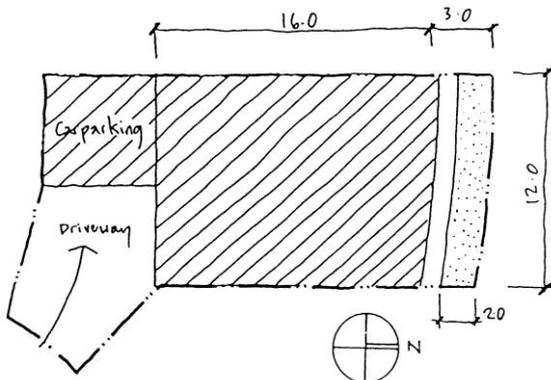


Figure 6: - Plan Envelope for Lot 106

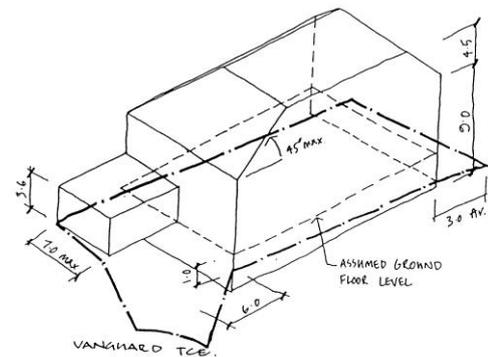


Figure 7: - Diagrammatic representation of Building Envelope for Lot 106

**Building Envelope for Lot 107**

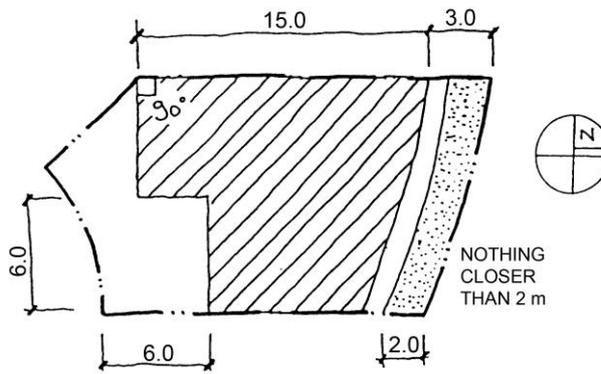


Figure 8: - Plan Envelope for Lot 107

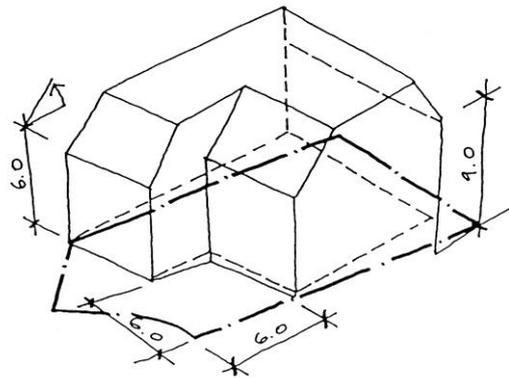


Figure 9: - Diagrammatic Representation of Building Envelope for Lot 107

**Building Envelope for Lots 108 & 109**

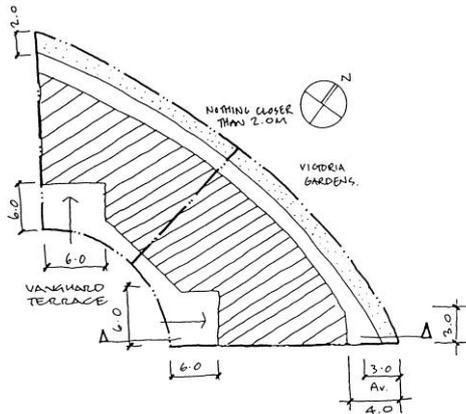


Figure 10: - Plan Envelope for Lots 108 & 109

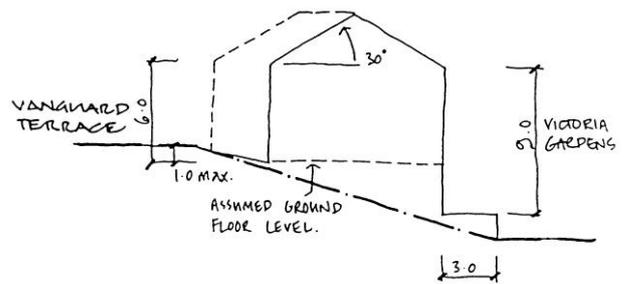


Figure 11: - Sectional Envelopes for Lots 108 & 109

**Building Envelopes for Lots 110-115**

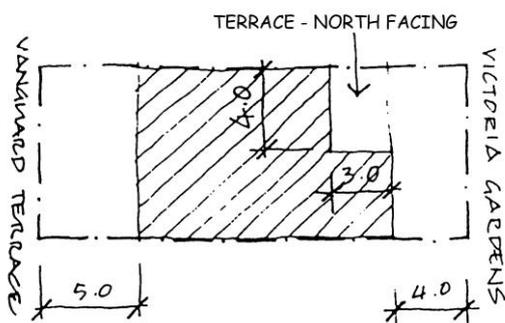


Figure 12: - Plan Envelope for Lots 110-115

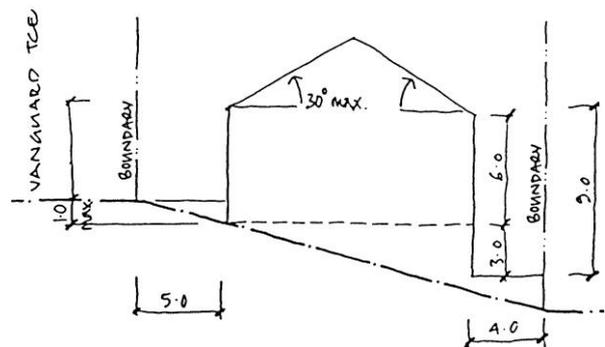


Figure 13: - Sectional Envelope for Lots 110-115

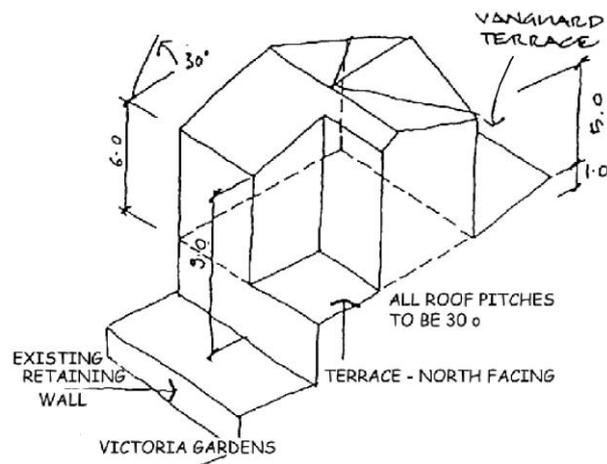


Figure 14: - Diagrammatic Representations of Building Envelope for Lots 110-115

### 2.3 SETBACKS

The following table describes the setbacks for each lot with reference to each boundary side.

LOT	EAST	WEST	NORTH	SOUTH
<b>Lots 101-104</b>				
Dwelling	9m	Nil	Nil	Nil
Terrace	5m			
Car parking	5m			
see Figure 2				
<b>Lots 105</b>	3m averaged but no closer then 2m from boundary measured at 90 degrees from boundary	Nil	Nil	Nil
<b>Lots 106</b>	Nil	Nil	3m averaged but no closer then 2m from boundary measured at 90 degrees from boundary	0 for 7m wide garage (see Figures 6 & 7), and 6m for the remaining part of the dwelling.
<b>Lots 107</b>	Nil	Nil	3m averaged but no closer then 2m from boundary measured at 90 degrees from boundary	Refer to Figures 8 & 9
<b>Lots 108 &amp; 109</b>		0	3m averaged but no closer then 2m from boundary measured at 90 degrees from boundary	Refer to Figures 8 & 9
<b>Lots 110-115</b>	4m	5m	Nil	Nil

- **Note 1:** No openings are allowed in walls having a nil set back from shared side boundaries.
- **Note 2:** No major openings are allowed in a wall which is set back less than 2m from the side boundary. For this purpose major openings are those with dimensions greater than 600 x 600mm.
- **Note 3:** Light courts are permitted in side boundaries. The maximum size permitted is 3.0m deep x 4.5m along the boundary and the minimum size is 1m deep and 3.6m along the boundary.
- **Note 4:** Side boundaries are defined as those boundaries shared with another lot.
- **Note 5:** The retaining wall built around the river side of the Quadrant Subdivision has been designed to accommodate structure being built up to 2m from the boundary. In some cases walls built between 2m and 3m from the boundary will need to be founded below the zone of influence of surcharge onto the retaining wall. Diagram 2.03A Refers. In these cases the footings of these walls are to be assessed and certified by a practicing structural engineer and will need to be lowered or piled to prevent surcharge onto the retaining wall.

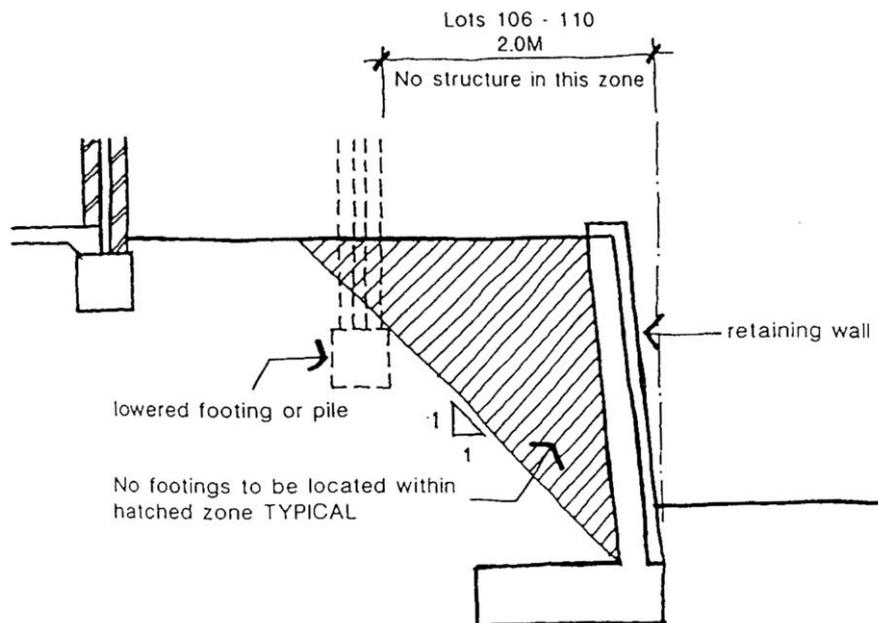


Diagram 2.03A:- This requirement affects Lots 106 - 115,  
however, Lots 106 to 110 are most affected.

## 2.4 Open space

- Provide an area of private north facing open space for each dwelling, directly accessible from a living area.
- Private open space may be at ground level or provided as a balcony, terrace or deck.
- All private open space shall be of usable area and dimensions. As a guide, ground level open space should have an area with minimum dimensions of 4m by 4m, while a balcony serving as the only area of private open space should have a minimum area of 4m, with a minimum dimension of 1.5m.
- All dwellings shall provide an open space area of 4m x 4m irrespective of location.

- All open space must be designed to minimise overlooking of adjoining properties, providing privacy to users and permit adjoining properties to share the available view.

## 2.5 Balconies

- The inclusion of balconies to take advantage of views is encouraged. Balconies should be of usable dimensions with a minimum depth of 1.5m and (unless otherwise stated) may project up to 1m beyond the building setback line but not beyond the property boundary.
- Balconies must be individually expressed and must not dominate the building facade.
- Juliette balconies to a maximum depth of 750mm are permitted but will not be included in private open space calculations.

## 2.6 Terraces to Lots 101 - 104

Terraces forming roofs over the lowest level in the dwelling may project up to 4m beyond the Building

Envelope provided their orientation is towards the river. (See Figure 2).

## 2.7 Access and Parking

- Pedestrian access to front doors for Lots 101-104 must be off Arden Street, and from Vanguard Terrace for Lots 106-115. Lot 105 must have pedestrian access to a front door off Gibraltar Way.
- Provide vehicle access to Lot 105 off Gibraltar Way.
- Provide all vehicle access to Lots 101-104 and 106-115 with direct opening of garage doors to Vanguard Terrace. See indicative parking locations in Figure 15.
- Minimise the extent of street frontage given over to car access. Garage width may not exceed 6.5m internally.
- All on site parking is to be concealed from view of neighbouring lots.

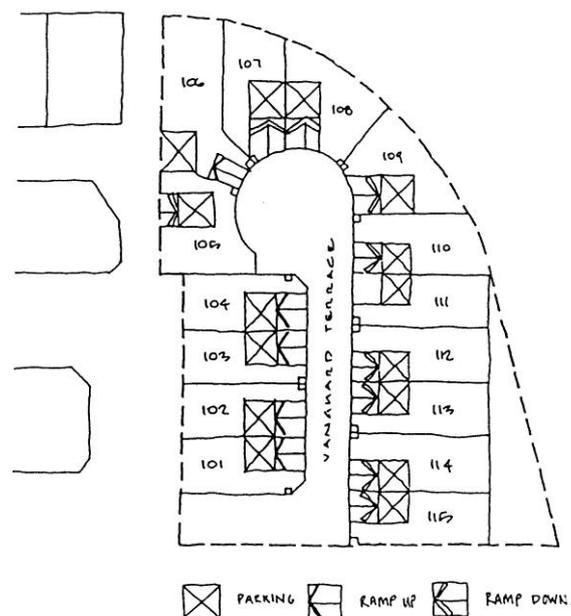


Figure 15: - Indicative Parking Location

## 2.8 Building Design

### 2.8.1 General

- Only single dwellings are permitted on these lots.
- Generally building heights are to be two to three storey plus attic space. Note, that attics which are wholly contained within the roof space are not defined as a storey.

### 2.8.2 Privacy

- A high standard of acoustic and visual privacy is expected with particular attention given to:
  - construction materials and techniques to reduce noise transmission between dwellings;
  - site and dwelling layout to separate potentially conflicting activity areas;
  - balcony and window location and design to avoid overlooking neighbouring windows and private open space; and
  - the creation of a safe environment by avoiding the formation of exterior spaces which can not be seen from living areas.

### 2.8.3 Roof form

- The roof pitch for Lots 101-106 shall be between 30-45 degrees where visible from public areas, with a shallower pitch acceptable for verandahs and canopies, small areas of skillion roofs, and small areas of flat roofs where screened behind parapets. Roof pitch for dwellings on all other lots is to be 30 degrees.
- Use of dormer/attic windows, verandahs and awnings are encouraged to reduce the apparent scale of development, add visual interest and assist with climate control.

### 2.8.4 Articulation and detailing

- Building design is to enhance individual dwelling identity.
- Dwellings are to address streets and other public areas including Victoria Gardens and the foreshore reserve rather than frontages dominated by blank walls and/or garages.
- Dwelling layout is to enable casual surveillance from habitable rooms and balconies.
- Buildings are to provide a modulated street frontage with an articulated facade and use of elements such as verandahs, balconies, awnings, dormers and window projections to provide visual interest and establish a fine grained scale to development.
- Detailing is generally to provide visual richness and variety, interest and identity and assist in reducing the visual bulk of building mass.
- Detail garages (particularly doors), carports and parking areas to reduce their visual impact and add interest at the pedestrian level.

## 2.9 Colours and Materials

### 2.9.1 Walls and windows

- Wall materials are to be predominantly red or terracotta coloured brick or similarly coloured masonry, limestone or render finish walls. Lightweight painted or stained cladding is acceptable on upper floors and as a minor element at ground floor level. Cream coloured face bricks are not permitted.

- The considered combination of more than one material or use of more than one finish is encouraged as it adds variety, reduces perceived building bulk and is becoming characteristic of development in the precinct. Finishes that separate ground and upper floors or parts of upper floors are encouraged. Reflective glass or dark tinted glass is not permitted.
- All window and door shutters if fitted must be operable.

### 2.9.2 Colours

- Well considered colour schemes are encouraged as distinct from predominantly monochrome colour schemes.
- Trim colours which enhance and complement the wall and roof colours are preferred. The local government retains the right of final decision on the acceptability of a colour scheme.

### 2.9.3 Roofs and Shade Structure Covering

- Roof materials are to be selected from within the following material colour range: tiles in autumn or terracotta tones; flat profile shingles in slate grey; corrugated metal decking in Colorbond Off White, Merino, Wheat, Birch Grey, Saltbush, Beige, Homestead, Mist Green, Gull Grey or comparable colours. A Zinalume finish is acceptable where it can be demonstrated that glare and reflectivity will not be a problem to neighbours and surrounding activities.
- 'Shadecloth' or profiled clear acrylic roof sheeting is not permitted in locations visible from the street, Victoria Gardens or the foreshore reserve.

## 3.0 EXTERNAL WORKS

### 3.1 Retaining Walls and Fences

- Heights of dividing fences shall not exceed 2m above the natural ground level of the adjacent lot.
- Dividing fences must be constructed from limestone as indicated by Figure 16.
- Materials and colours of retaining walls and solid components of fences to match dwelling.
- Retaining walls to be a maximum of 1.2m high when measured from the pedestrian zone of adjacent streets or public spaces.
- Where fences front streets or pedestrian accessways and exceed 1.2m height, provide infill panels of 50% visually transparent painted timber or metal designs.
- Fencing style to streets and public open space of capped piers (to match existing detail) maximum 2m high, with a fence base course of matching material minimum 0.45m high, and infill panels to maximum 1.8m high.
- Solid panels of fencing are permitted where the only area of private open space is to the public street frontage, or the only portion of north facing private open space fronts the street. In such cases, the extent of solid fencing should not exceed 50% of the lot width for that particular dwelling.
- Point two regarding dividing fences being constructed from limestone relates to lots 106-115 only. Dividing fences for Lots 101-105 are to be in materials and colours to match the dwelling. All dividing fences are to be constructed as indicated by Figure 16.

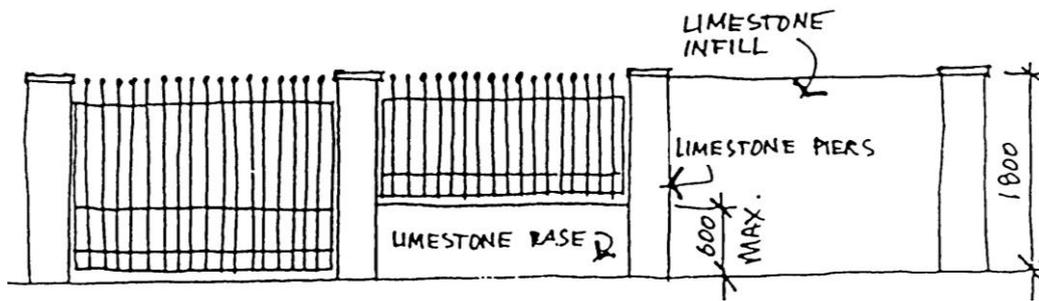


Figure 16: - Typical Fencing Style and Heights

### 3.2 River Frontage Fencing Infill

The river frontage retaining wall (Lots 106-115) has been constructed to retain the earth of each lot above the natural ground level of the river foreshore. There are substantial limestone faced concrete piers at regular intervals. Infill to these fences must comply with the following:

- Infill must be constructed from metal tube (circular or square) and metal rod.
- Infill must be powdercoat finished or paint finished in gloss black colour.
- Infill must conform to the requirements of Figure 17 which provides 3 options. Fencing infill for each lot must be consistent with ONE of these three options.
- Treatment to the top of each picket and fence post must conform to Figure 18.

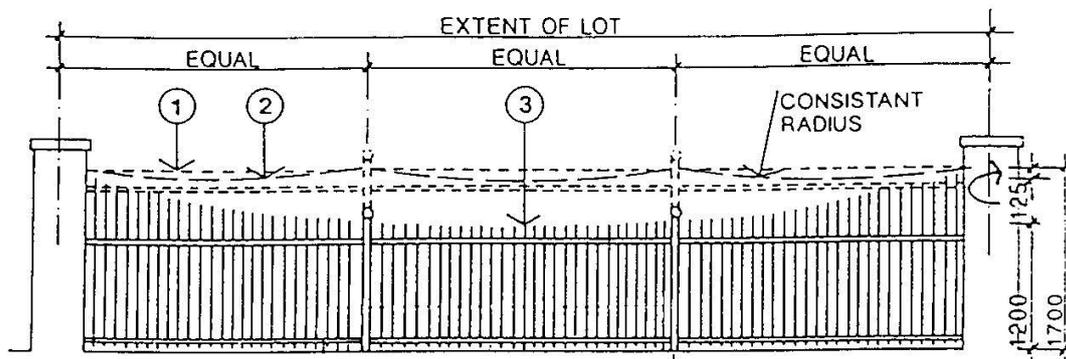
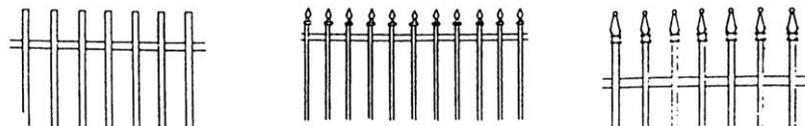


Figure 17: - Fencing Infill

**Note:** For Lots 106, 107, 108 and 109 three intermediate posts are required at equal spaces with four bays of infill as shown

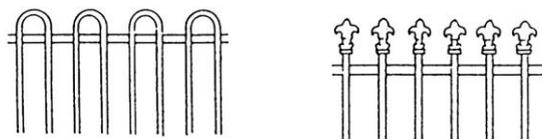


Cut square

Acorns

Spear heads

Picket Top Decoration PERMITTED



Picket Top Decoration NOT PERMITTED

### 3.3 Landscape

- In order to increase on-site water absorption and reduce run-off, permeable segmental paving is to be used for all hard surfaces.
- Where paving inside a Lot abuts and is visible from paved surfaces in streets or mews, the new paving should be co-ordinated in colour, texture and scale with the surface in the public area.
- Select suitable trees such that the mature tree size, form and scale will relate to, but not overwhelm the building mass.
- A detailed landscape proposal plan is to be submitted with each Building license application.
- Owners should note that trees used within public spaces such as the Public Walkways are likely to overhang property boundaries once they are mature. The local government will be responsible for cleaning leaves etc which fall within public areas only.

### 3.4 Services

- A service easement area is defined for each lot and all meters and connections are located within it.
- All such fittings shall be integrated into the purpose designed facility that shall also include rubbish bin and storage.
- All piped and wired services, air conditioners, clothes drying areas and hot water storage tanks should be concealed from street and public view area. Solar panels and solar water heaters maybe visible where they are in the same plane as the roof and there is no alternative location that can provide a similar level of solar efficiency.
- A Sewerage and Drainage Plan is to be provided with all building license applications as special stormwater conditions apply.

### 3.5 Crossovers

Vehicle crossovers are to be constructed to the local government's specifications at the developer's expense.

## 4.0 SPECIAL REQUIREMENTS - LOTS 106 AND 107

### 4.1 Retaining Wall

- A retaining wall is required to Lot 106 along the boundary of Lot 107 and is to be constructed by, and at the cost of, the owner of Lot 106.
- The wall is to be faced where visible in natural limestone and designed to visually match the retaining wall fronting Victoria Gardens to the north of Lots 106 and 107.
- No construction other than for footings is to occur below the existing common level. Normal boundary conditions apply to footing construction. The owner of Lot 106 is to provide the retaining wall along the boundary to accommodate the final levels to Lot 106 without affecting Lot 107.