

Planning Policy Manual – Part 2

**Planning Policies and Design Guidelines for Normalised
Redevelopment Areas**

Section 2.24
East Perth – Area 24
Royal and Bennett Streets



Version #	Decision Reference	Synopsis
1	11 March 2008	Adopted
2	17 March 2015	Amended
3	13 December 2016	Amended
4	11 April 2017	Amended

CONTENTS

SECTION	TITLE	PAGE
1.0	INTRODUCTION	3
2.0	APPLICATION	3
3.0	ABOUT THESE GUIDELINES	3
4.0	RELATIONSHIP TO PLANNING SCHEME AND PLANNING POLICIES	4
5.0	BUILDING DESIGN.....	4
5.1	Building Envelope	4
5.2	Aesthetic Vision Statement	4
5.3	Corner Sites	5
5.4	Security.....	5
5.5	Roof Form.....	5
5.6	Articulation.....	5
5.7	Detail	5
5.8	Blank Walls.....	5
5.9	Tilt-Up Construction	5
6.0	ACCESS AND PARKING	6
6.1	Vehicular Parking.....	6
6.2	Pedestrian Access	6
7.0	LANDSCAPING AND PRIVATE OPEN SPACE	6
7.1	Landscaping	6
7.2	Private Open Space	6
7.3	Balconies, Canopies and Awnings.....	6
7.4	Privacy.....	6
7.5	Fences.....	6
8.0	COLOURS AND TEXTURES	6
8.1	Walls.....	6
8.2	Windows	7
8.3	Roofs	7
8.4	Building Services.....	7
8.5	Site Drainage	7
8.6	Integration of Art.....	7
	PART TWO - SITE SPECIFIC GUIDELINES.....	8

PART ONE – GENERAL DEVELOPMENT GUIDELINES

1.0 INTRODUCTION

The site is located on the southern boundary of the Claisebrook Village Project Area, marking a major entry point when travelling north along Bennett Street.

The location of this site provides the opportunity to create a mixed development containing commercial, retail and residential land uses. Internal streetscapes can also be introduced creating north-facing private open space areas and minimal disruption from vehicle crossovers.

2.0 APPLICATION

These guidelines apply to the land bounded by Wittenoom Street, Bennett Street, Royal Street and existing commercial development to the east, as shown in Figure 1. The land lies within the Royal Street Central Precinct (Precinct EP3) as defined in the City of Perth Local Planning Scheme No.26 (Normalised Redevelopment Areas) (herein called ‘the Scheme’).

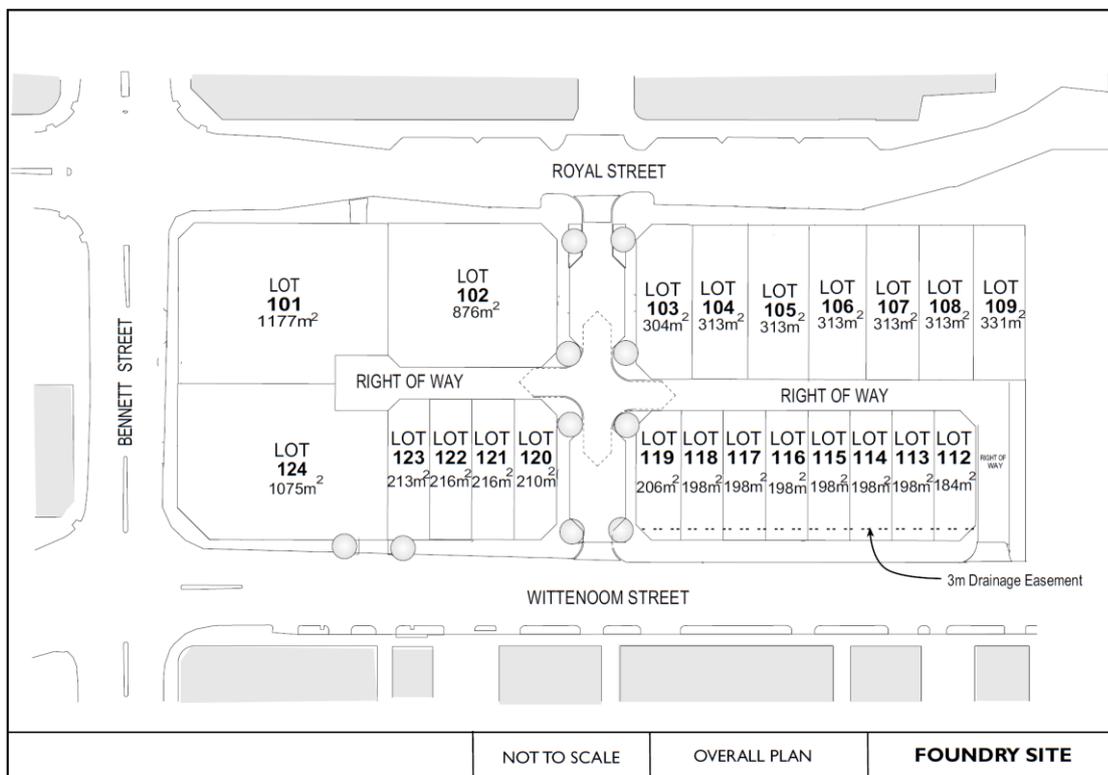


Figure 1: Extent of Royal and Bennett Streets Design Guidelines

3.0 ABOUT THESE GUIDELINES

The guidelines are divided into two parts:

- **Part One** applies to all lots and includes definition of certain terms and design elements that are common to all sites.
- **Part Two** consists of two forms of guidelines:
 - Guidelines by Streetscape

The urban design guidelines have been shown graphically as street elevations with requirements for each property indicated below each elevation.

- Site Specific Guidelines

Examples of the application of the guidelines applied to individual property types where explanation is required. The built forms shown are indicative only and are by no means meant to indicate the final outcome.

In any instance where there appears to be a contradiction between the General Guidelines in Part One and the Development Guidelines in Part Two, the Development Guidelines should be followed. It should be noted that the guidelines relating to the land will be strictly enforced and that the local government may refuse development approval for developments not considered to be in keeping with the intent of the guidelines.

4.0 RELATIONSHIP TO PLANNING SCHEME AND PLANNING POLICIES

These Design Guidelines are intended to supplement the provisions of the Scheme and should be read in conjunction with the Scheme, in particular those provisions relating to the Claisebrook Village Project Area and Precinct EP3: Royal Street Central, and other Planning Policies.

The Deemed Provisions set out in the *Planning and Development (Local Planning Schemes) Regulations 2015* also form part of the Scheme Text.

The Scheme identifies Preferred, Contemplated and Prohibited uses for Precinct EP3: Royal Street Central and stipulates maximum plot ratio. In determining any application for development approval, the local government will have regard to these Design Guidelines, the Scheme and other Planning Policies.

5.0 BUILDING DESIGN

5.1 Building Envelope

The siting and scale of a building, its height, bulk and setback, set the dominant character of any development. The building envelope is used to define the allowable limits of building bulk. It is not intended that a building's profile should mirror that of the envelope.

Heights of building envelopes are from the finished ground levels of streets, lanes or retaining walls at the perimeter of the lot as per the building envelope diagrams. All site and floor levels are to be provided in Australian Height Datum (AHD).

The only projections beyond the envelope that will be allowed will be building services (concealed to the satisfaction of the local government) and building features which, in the opinion of the local government, contribute to the character and identity of the building and the locality.

Balconies and awnings may project beyond the building envelope in accordance with the specific guidelines applicable to those elements.

5.2 Aesthetic Vision Statement

Due to its location at an entry point to the Claisebrook Village Project Area, an opportunity exists for development to establish its own identity in terms of design and visual appearance. In order to achieve a unique identity the utilisation of strong colours, palette of materials and texture is sought.

Ideally, a contemporary identity with a strong design edge is sought for the area. Perimeter buildings should present a robustness of scale and form to reinforce the well designed streetscape.

Masonry rendered construction including the use of face brick work, painted render, light weight cladding, infill timber panelling and metal balustrading is strongly encouraged. The well considered use of a combination of these materials will be supported, along with changes in finish to distinguish the ground floor from the upper or parts of the upper floors.

5.3 Corner Sites

Corner sites tend to be the most prominent. Buildings situated at the intersections of roads/laneways play a special role in defining the quality of the adjoining public spaces and are often landmarks which assist people's understanding of the local environment.

Where individual lots are located on corner sites, the design edge should reinforce the corner in which the development addresses. Special corner treatment shall be provided and may take the form, but are not limited, to the following:

- Parapet-topped facades hinged around a quarter circle at the truncation of the intersection.
- Parapet facade higher than flanking parapet (maximum 1.5m above permissible building height).
- Cantilevered canopy higher at truncation of intersection than flanking canopies.

5.4 Security

Developments should contribute to the creation of a safe environment by avoiding the formation of blind spaces which cannot be overlooked from rooms and other areas which are in frequent use. Mixed uses will be encouraged where appropriate to improve safety.

External spaces and building entrances should be well lit, and other measures to enhance the personal safety of occupants and visitors should also be considered.

5.5 Roof Form

A range of roof forms/profiles which contribute to the identity of the area and which reflect the range of uses and development types in the precinct are possible. Roofs should generally be expressed in a way which compliments the architectural style of the building, which provides clear silhouettes and minimises visual clutter.

Roofs may be flat or pitched up to 45°, however buildings utilising a roof cavity for additional floor space should have a minimum roof pitch of 45° where the roof line meets the external wall. Rooms located in the roof cavity should have a minimum head height of 2.4m over 2/3 of the floor area.

5.6 Articulation

Building elevations should be articulated to provide visual interest to the detail and scale of the development. Elements such as awnings, balconies and windows are to be encouraged. The entrance to buildings should be clearly defined.

5.7 Detail

Development will be required to present well from all aspects. The street or public face of buildings should be detailed to provide visual richness and variety, highlight rhythms, reduce apparent bulk and enhance its individual identity. This can be achieved through the use of colour, texture and materials, surface modelling and the integration of art.

5.8 Blank Walls

Exposed blank facades are not permitted. Elevations should be detailed preferably with openings and articulated to provide visual interest, except where nil setbacks adjoin other lots.

5.9 Tilt-Up Construction

The use of the tilt-up construction method may be approved provided it can be demonstrated that the aforementioned requirements relating to articulation, details and blank walls have been satisfied.

6.0 ACCESS AND PARKING

6.1 Vehicular Parking

The design of open parking areas should be integrated into landscape areas.

6.2 Pedestrian Access

Pedestrian access to commercial developments is encouraged to be at grade from adjacent footpaths or proposed road and rights-of-way. Developments are encouraged to be accessible to people with impaired mobility.

7.0 LANDSCAPING AND PRIVATE OPEN SPACE

7.1 Landscaping

All open areas on-site are to be appropriately landscaped with a combination of “hard” and “soft” elements. Areas that relate visually or physically to the adjacent public domain should adopt a similar general landscape style for visual consistency. In order to limit run-off and increase on-site water absorption, permeable paving is to be used for all hard surfaces.

7.2 Private Open Space

Private open space shall be provided to each dwelling in the form of a courtyard with a minimum area of 16m² (minimum dimension 4m), a balcony, deck or terrace. All private open space must open directly off a living area and be north facing where possible. Private open space that serves as an extension of the dwelling for relaxation, dining and entertainment is encouraged. The enclosure of balconies of the purpose of additional floor space is not permitted.

7.3 Balconies, Canopies and Awnings

Canopies and awnings may project up to 750mm beyond the boundary, however, any encroachments or projections beyond the lot boundaries (i.e. into Crown Land) will require separate consideration and approval by the local government and/or the Department of Land Administration. This includes the approval of any Strata Plan for a development. Balconies should have a minimum area of 8m² and must be set back a minimum of 1m from an adjoining lot. Any balcony set back less than 2m from an adjoining lot must incorporate an approved screen (minimum 1.8m high) on that side.

7.4 Privacy

Designs should be mindful of privacy issues. Windows, balconies and terraces should be located to avoid any loss of amenity to the extent possible.

7.5 Fences

Fencing to the front boundary or street may be permitted to a maximum height of 1.8m with infill treatment not to exceed 1.8m in height (upper half to be open or 50% transparent).

Fences are to be constructed of masonry or stone, with piers straddling adjoining lot boundaries. Materials used for dividing fences are to be compatible with those used on the front fence or the building. Fibre cement, profiled sheet metal and timber lap picket dividing fences are not permitted.

8.0 COLOURS AND TEXTURES

8.1 Walls

Exterior walls of buildings should be predominantly of masonry construction and may utilise combinations from the following palette of materials:

- Face brickwork or blockwork
- Rendered finishes
- Limestone block

The careful use of structural detail incorporating materials and elements such as limestone, painted brickwork, timberwork and steelwork is encouraged to add interest and texture. Integral material detailing will be encouraged to break up large building masses with detail and structural elements such as trims, fascias, gutters, parapet detailing and balustrading being highlighted with accent colour in keeping with the overall colour scheme of the building. Colours should range from yellow to red-brown ochre.

Aluminium lace work or cast iron is not permitted for balustrades.

8.2 Windows

The use of reflective glass is not permitted. Protection of windows from the sun or for privacy should be achieved through architectural devices and passive solar design, rather than through reflective coatings. 'Matt' tinting may be accepted where it can be shown to be of nil or minimal increased reflectivity.

8.3 Roofs

Roof materials and colour should be compatible with the building style. Roofs should preferably be flat profile tiles in mid-grey or pale ochre, or corrugated metal decking in Colorbond Off White, merino, Birch Grey, Wheat or Saltbush. Zinalume finish will only be permitted where it can be demonstrated that glare and reflectivity will not be a problem to neighbours and surrounding activities.

8.4 Building Services

All piped and wired services, air conditioners, lift shafts, bin stores and storage tanks are to be concealed from public view.

All meters are to be contained within the easement with screening or other architectural treatment to be integrated into the overall landscape and building design.

8.5 Site Drainage

All stormwater drainage shall be disposed of on-site. Each soakwell is to have an overflow pipe connected to the main drainage system at the point provided. Variations to this requirement will be at the discretion of the local government when it considers an application for building license.

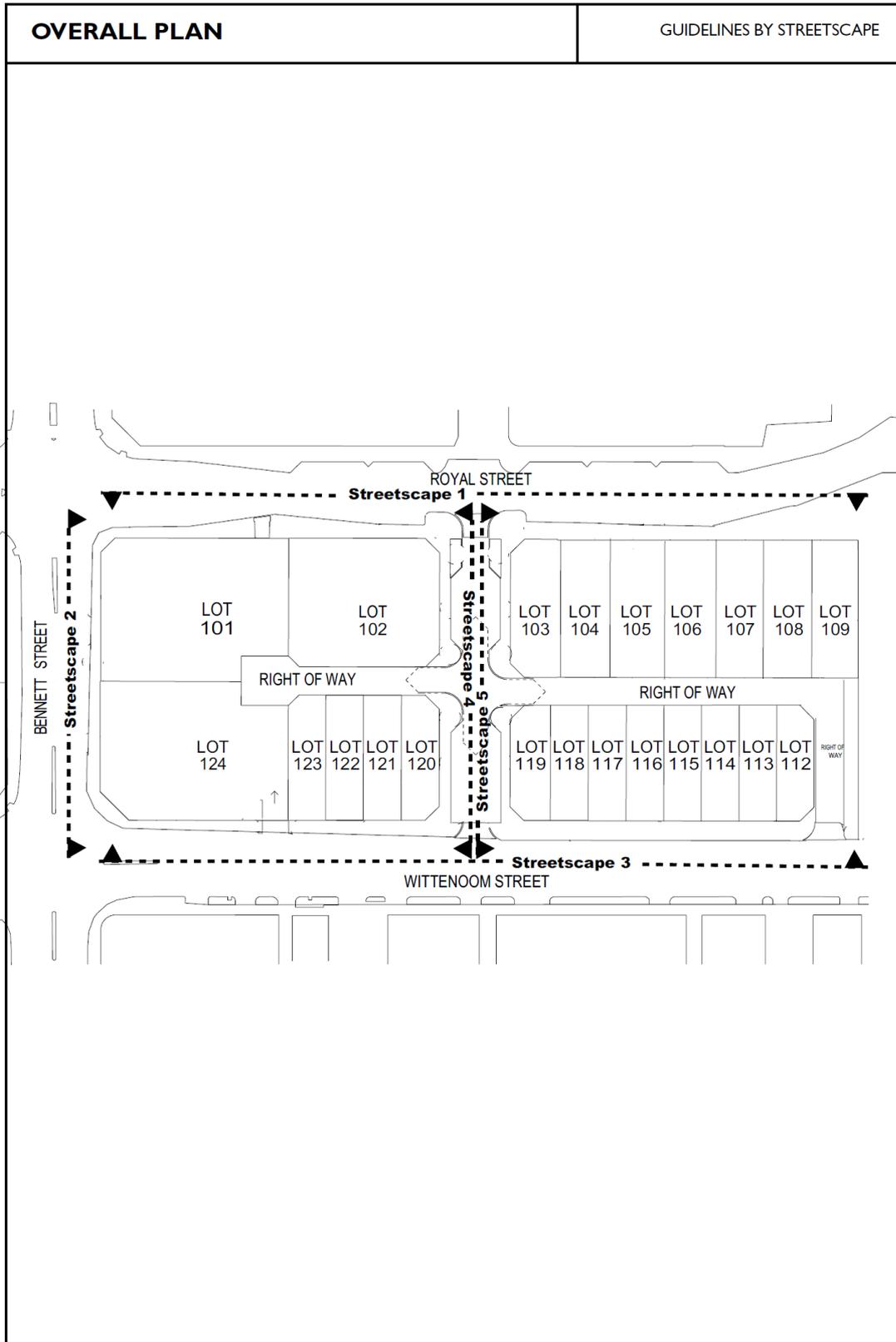
Where basement carparking is proposed, runoff below ground level, including collection of groundwater, will need to be stored in a basement sump and pumped into the drainage connection.

8.6 Integration of Art

The involvement of artists in designing a new development can enrich the design response and contribute to the creation of a sense of place in the local environment. Consequently, the local government encourages the use of artists as part of the design team for new developments.

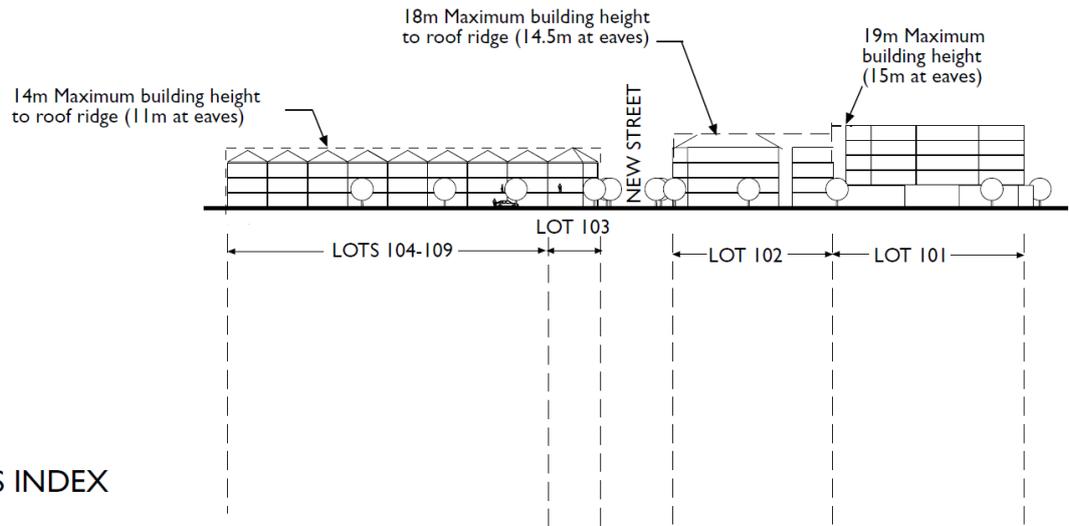
Examples of artworks that can be integrated into a new development include detailing to walls, balustrades and railings, paving, seating, bollards, lighting, building fittings, entry treatments and signage.

PART TWO - SITE SPECIFIC GUIDELINES





ROYAL STREET LOTS 101-109	GUIDELINES BY STREETScape I
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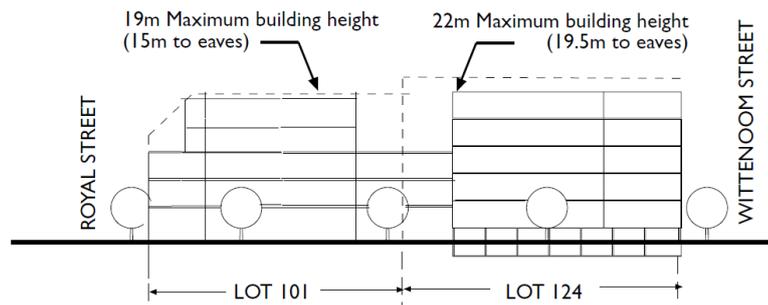
GUIDELINES INDEX

<i>Nil Setback</i>					
<i>Ground floor Commercial/home office/retail</i>					
<i>Ground floor Commercial or Retail</i>					
<i>Provide continuous pedestrian cover</i>					
<i>Roof terrace (not if pitched)</i>					
<i>Provide special corner treatment</i>					

required	
permitted/ encouraged	



BENNETT STREET LOTS 101 & 124	GUIDELINES BY STREETScape 2
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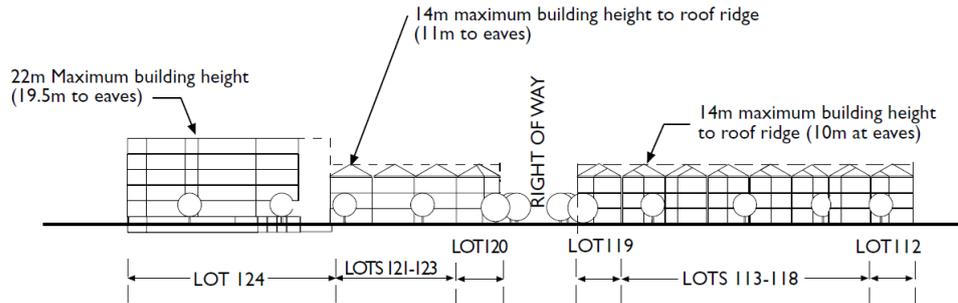
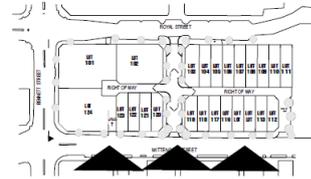
GUIDELINES INDEX

<i>Nil Setback</i>		
<i>Ground Floor Retail/Commercial</i>		
<i>Ground Floor Commercial</i>		
<i>Provide continuous pedestrian cover</i>		
<i>Roof terrace</i>		
<i>Provide special corner treatment</i>		
<i>Undercroft parking</i>		

<i>required</i>	
<i>permitted/ encouraged</i>	



WITTENOOM STREET LOTS 112-124	GUIDELINES BY STREETSCAPE 3
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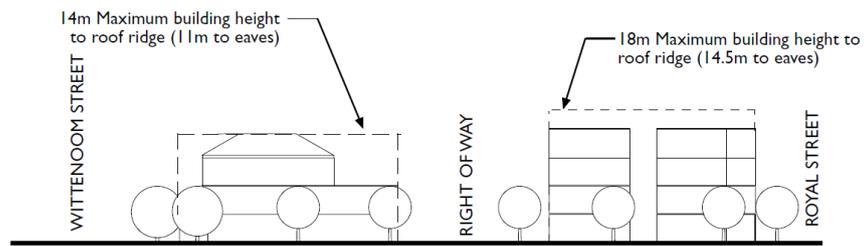
GUIDELINES INDEX

<i>Nil Setback</i>					
<i>Minimum Setback 3.0m</i>					
<i>Ground Floor Commercial</i>					
<i>Ground Floor "home office"</i>					
<i>Provide Pedestrian Cover</i>					
<i>Roof terrace</i>					
<i>Provide special corner treatment</i>					
<i>Undercroft/basement parking</i>					

<i>required</i>	
<i>permitted/ encouraged</i>	



NEW STREET LOTS 120+102	GUIDELINES BY STREETSCAPE 4
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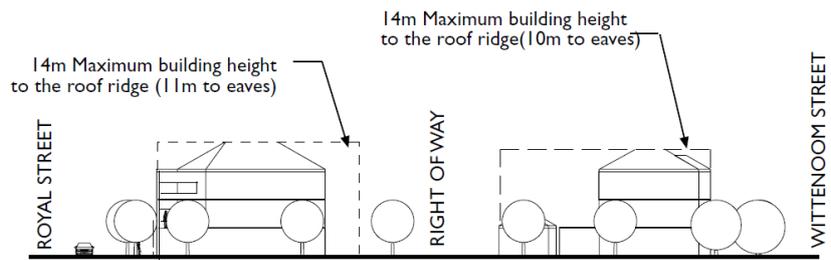
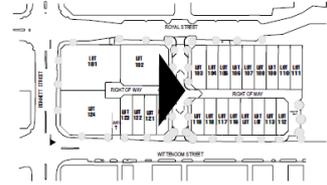
GUIDELINES INDEX

<i>Minimum street setback 3.0m</i>				
<i>Nil Setback (to right of way)</i>				
<i>Ground Floor Retail/Commercial</i>				
<i>Ground Floor home office/Commercial</i>				
<i>Provide Pedestrian Cover</i>				
<i>Provide special corner treatment</i>				
<i>Facade has direct openings to street</i>				

<i>required</i>	
<i>permitted/ encouraged</i>	



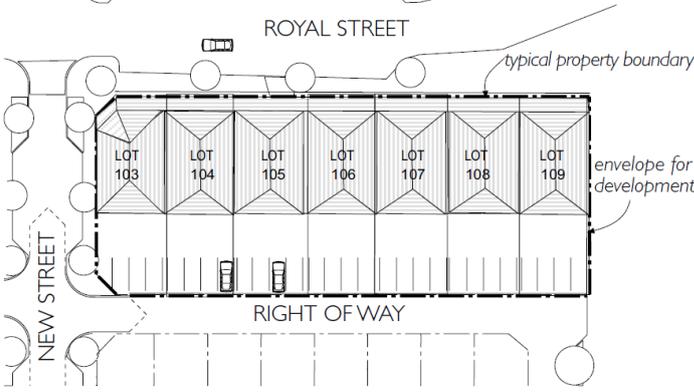
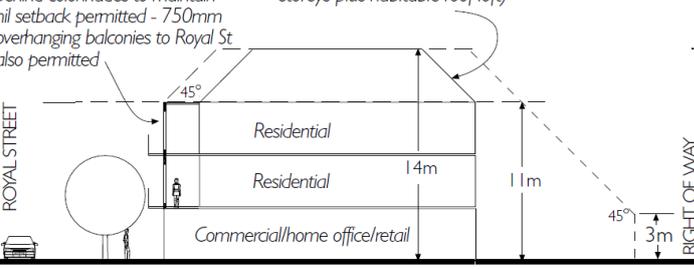
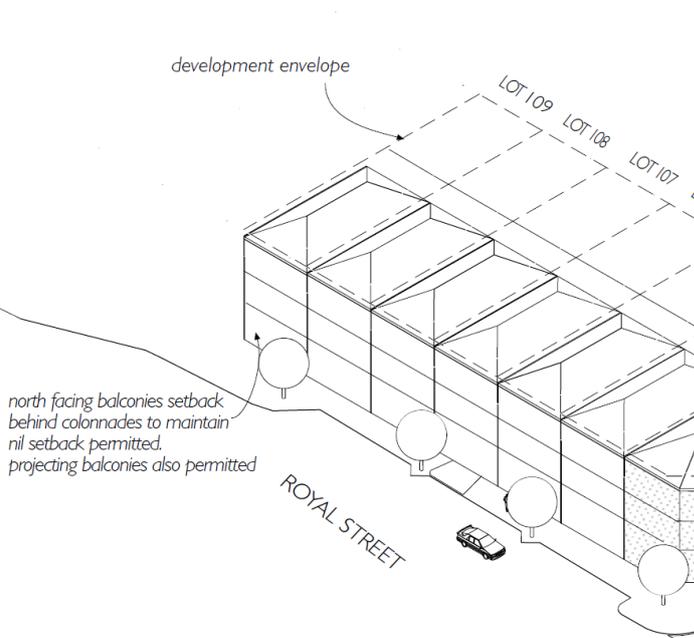
NEW STREET LOTS 103+119	GUIDELINES BY STREETScape 5
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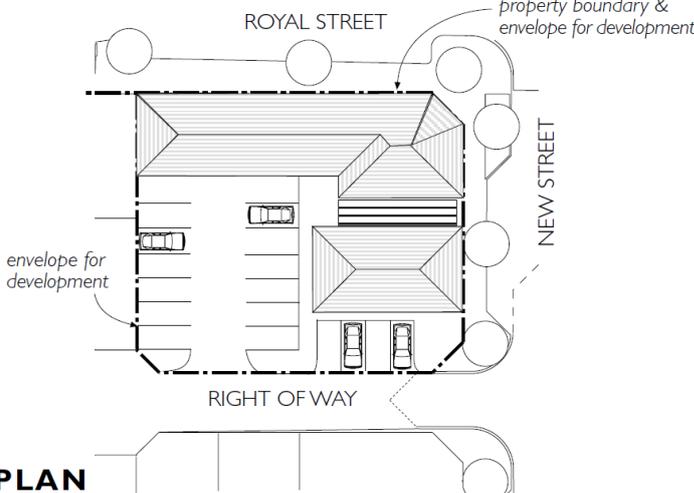
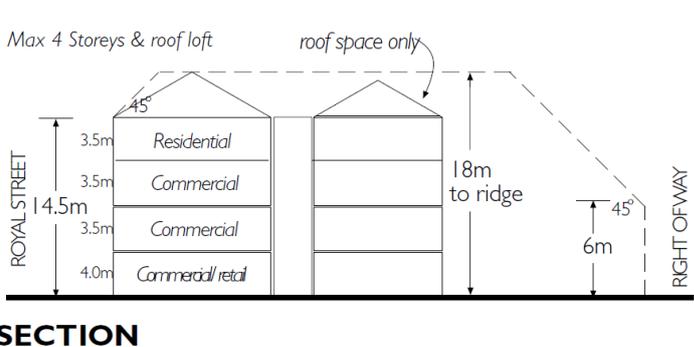
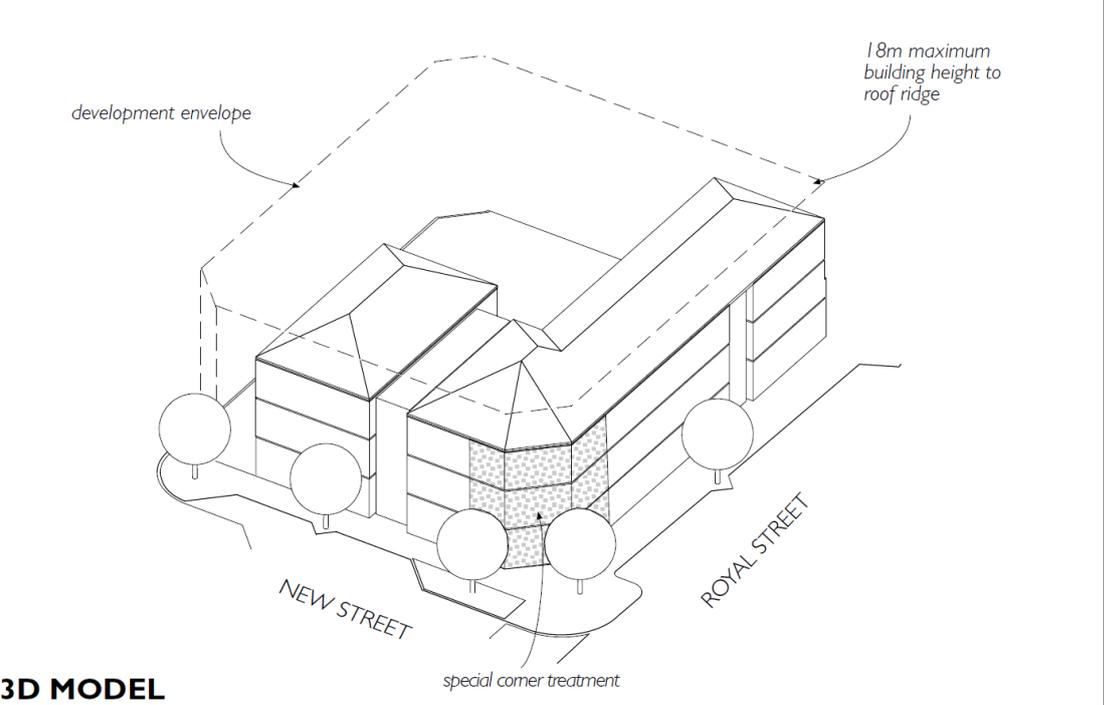


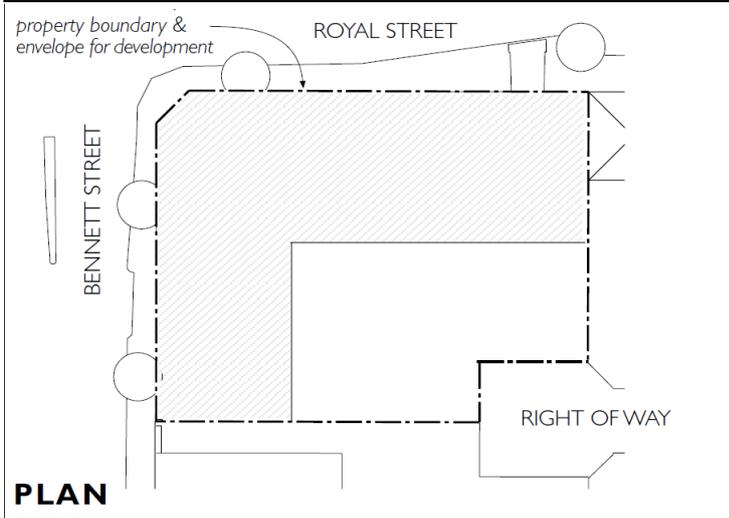
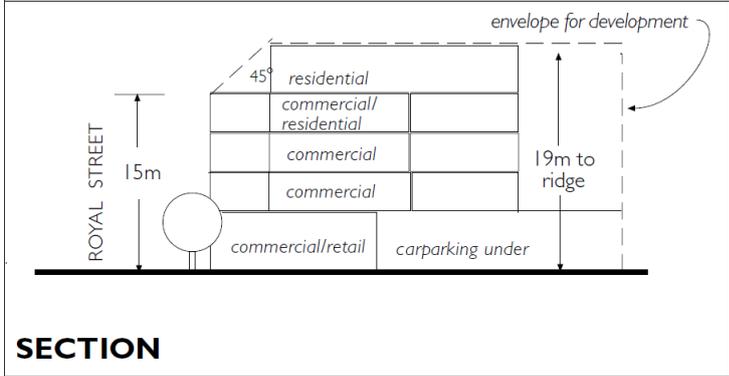
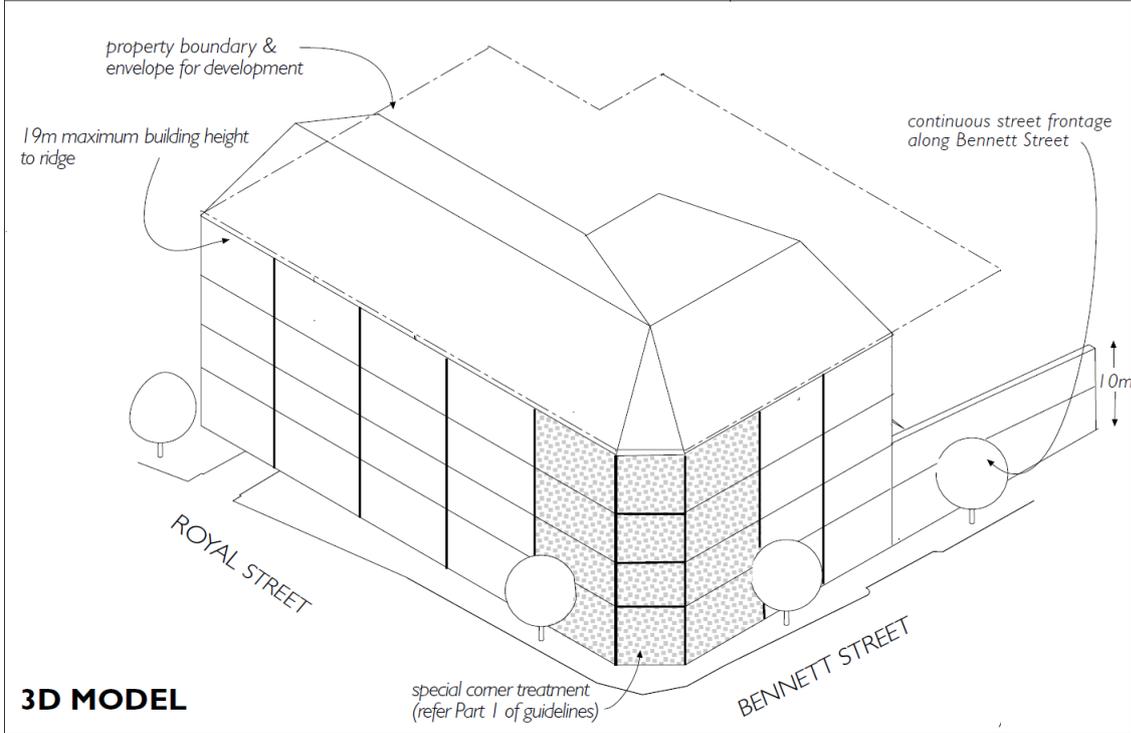
GUIDELINES INDEX

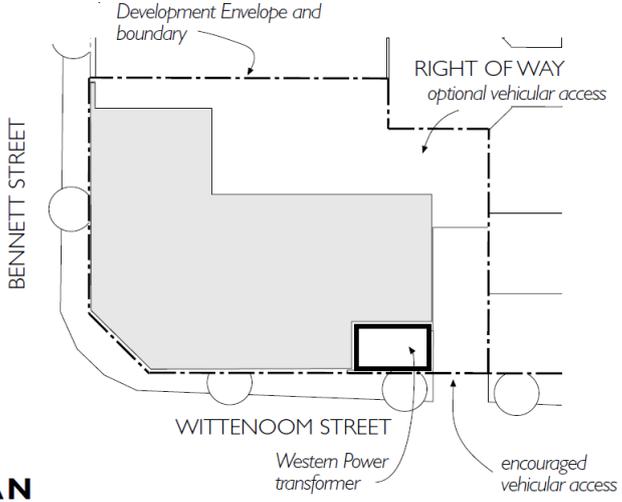
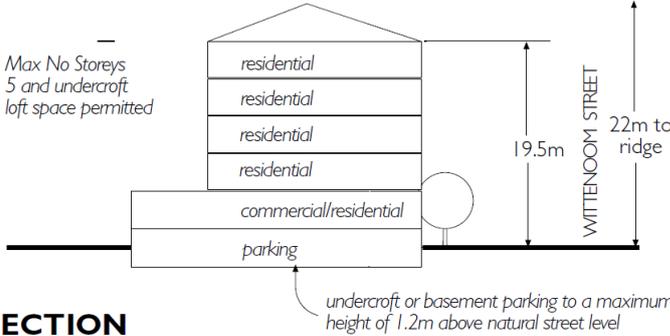
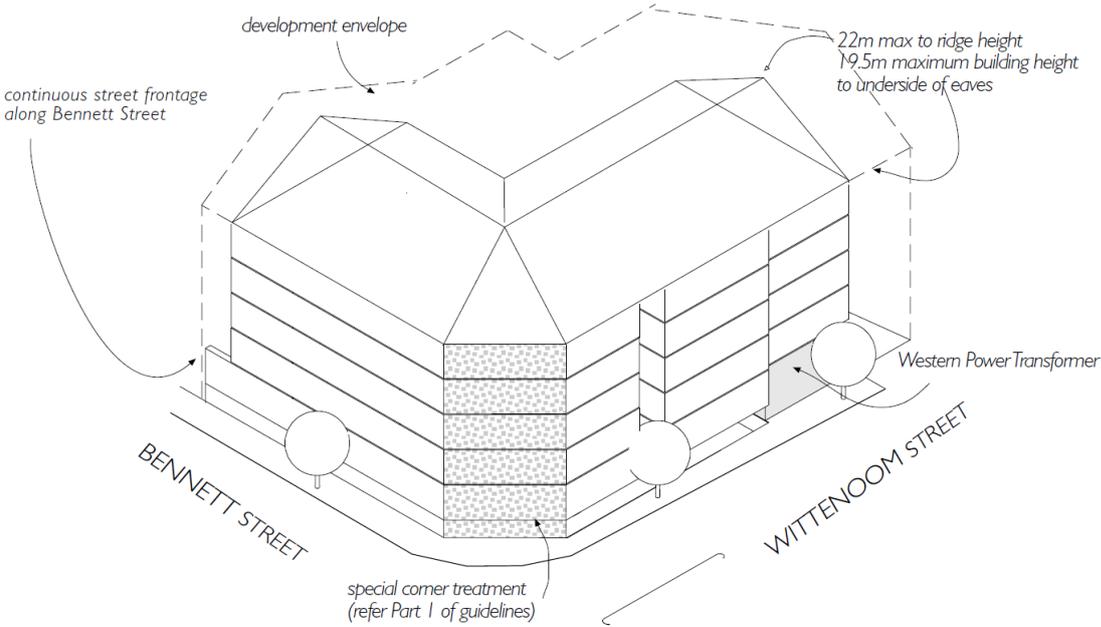
	LOT 103	LOT 119
<i>Nil Setback</i>		
<i>Minimum Street Setback 3.0m</i>		
<i>Ground Floor commercial/home office/retail</i>		
<i>Roof terrace</i>		
<i>Provide special corner treatment</i>		
<i>Facade has direct openings to street</i>		

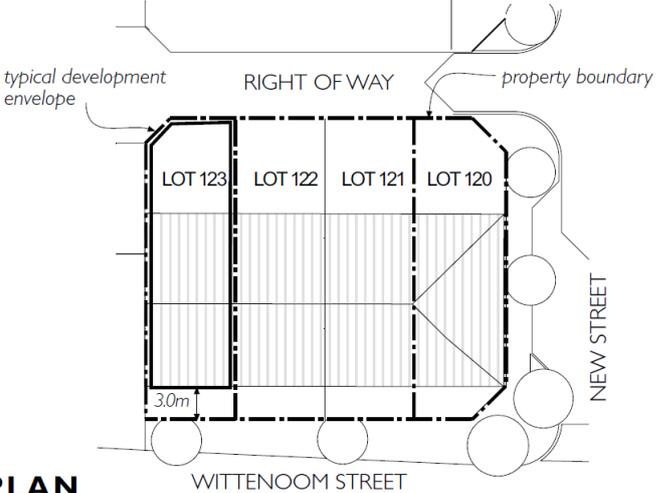
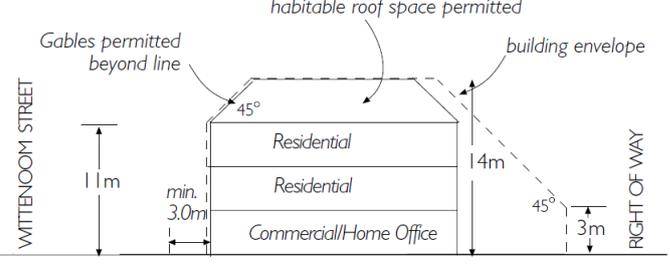
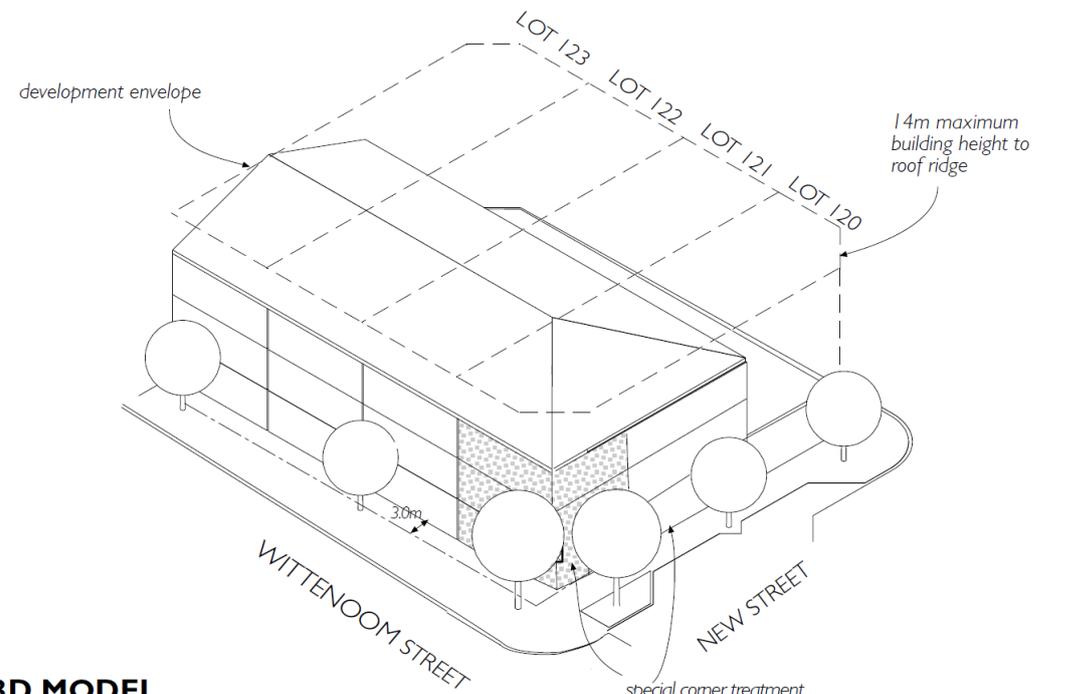
<i>required</i>	
<i>permitted/ encouraged</i>	

<p>ROYAL STREET LOTS 103-109</p>	<p>SITE SPECIFIC GUIDELINE I</p>
 <p>PLAN</p> <p>north facing balconies setback behind colonnades to maintain nil setback permitted - 750mm overhanging balconies to Royal St also permitted</p> <p>gables permitted (max 3 storeys plus habitable roof loft)</p>	<p>DEVELOPMENT POTENTIAL Maximum 2 dwellings per lot plus ground floor which <i>must</i> accommodate commercial/home office/retail use.</p> <p>BUILDING HEIGHT Minimum No. of storeys - 2 Maximum building height - 14m to the roof ridge.</p> <p>SETBACKS Front (street) min - nil, max - nil Rear min - nil Side (at street frontage) min - nil, max - nil</p> <p>MISCELLANEOUS</p> <p>Special corner treatment to Lot 103 is encouraged. Blank walls are not permitted. The wall should be detailed to provide visual interest and treated as a "front elevation" containing elements such as openings, recesses, balconies, awnings, canopies & windows. Solid fencing along this boundary will not be supported.</p> <p>Ground floor uses must address the streetscape and present a commercially active footpath environment.</p> <p>NOTE: All building forms shown are indicative only and do not represent final outcome</p>
 <p>SECTION</p> <p>ROYAL STREET</p> <p>RIGHT OF WAY</p> <p>14m</p> <p>11m</p> <p>3m</p> <p>45°</p> <p>45°</p> <p>Residential</p> <p>Residential</p> <p>Commercial/home office/retail</p>	
 <p>3D MODEL</p> <p>development envelope</p> <p>LOT 109 LOT 108 LOT 107 LOT 106 LOT 105 LOT 104 LOT 103</p> <p>ROYAL STREET</p> <p>NEW STREET</p> <p>north facing balconies setback behind colonnades to maintain nil setback permitted. projecting balconies also permitted</p> <p>14m maximum building height to roof ridge</p> <p>special corner treatment</p>	<p>Amended 14.03.01</p>

<p>ROYAL STREET LOT 102</p>	<p>SITE SPECIFIC GUIDELINE 2</p>
 <p>PLAN</p>	<p>DEVELOPMENT POTENTIAL This lot should be predominantly commercial with the uppermost level as residential. The ground level <u>must</u> be commercial or retail use.</p> <p>BUILDING HEIGHT Minimum No of storeys - 3 Maximum building height - 18m to the roof ridge</p> <p>SETBACK Front (street) min - nil max - nil Others min - nil</p> <p>MISCELLANEOUS Continuous pedestrian cover is encouraged.</p>
 <p>SECTION</p>	<p>Special corner treatment to the new street is encouraged. Blank walls are not permitted. The wall should be detailed to provide visual interest and treated as a "front elevation" containing elements such as openings, recesses, balconies, awnings, canopies & windows. Solid fencing along this boundary will not be supported.</p> <p>NOTE: All building forms shown are indicative only and do not represent final outcome</p>
 <p>3D MODEL</p>	

<p>ROYAL STREET LOT 101</p>	<p>SITE SPECIFIC GUIDELINE 3</p>
 <p>PLAN</p>	<p>DEVELOPMENT POTENTIAL This lot should be predominantly commercial with the uppermost level as residential. The ground level <u>must</u> be commercial or retail use.</p> <p>BUILDING HEIGHT Minimum No of Storeys - 3 Maximum building height - 19m to the roof ridge.</p> <p>SETBACK Front (street) Min - nil max - nil Other min - nil</p> <p>ACCESS All vehicular access shall be via the rear right of way. Undercroft & basement permitted.</p>
 <p>SECTION</p>	<p>MISCELLANEOUS Continuous facade to be provided to Bennet Street adjoining lot 124.</p> <p>Continuous pedestrian cover is encouraged.</p> <p>Special corner treatment is encouraged to reinforce the site as an important entry point to the commercial/retail nature of</p> <p>NOTE: All building forms shown are indicative only and do not represent final outcome</p>
 <p>3D MODEL</p>	

<p>WITTENOOM STREET LOT 124</p>	<p>SITE SPECIFIC GUIDELINE 4</p>
 <p>PLAN</p>	<p>DEVELOPMENT POTENTIAL Maximum 25 dwellings.</p> <p>BUILDING HEIGHT Minimum no of storeys - 3 Maximum building height - 22m to roof ridge</p> <p>SETBACKS Front (street) Undercroft Min - nil max - nil Upper levels min - nil max - 2m other min - nil</p> <p>Western Power Transformer to be concealed or incorporated into new facade. A 300mm setback to transformer has been created to allow new facade to be built in front.</p> <p>ACCESS Vehicular access is encouraged off Wittenoom St or the R.O.W. All parking to be contained in an undercroft or basement Parking at grade not permitted</p> <p>MISCELLANEOUS Continuous facade to be provided to Bennet Street adjoining lot 101.</p> <p>Special corner treatment is encouraged to reinforce the site as an entry point to the Redevelopment area. Refer to Part 1 for design suggestions.</p> <p>NOTE: All building forms shown are indicative only and do not represent final outcome</p>
 <p>SECTION</p>	
 <p>3D MODEL</p>	

WITTENOOM STREET LOTS 120-123	SITE SPECIFIC GUIDELINE 5
 <p>PLAN</p>	<p>DEVELOPMENT POTENTIAL <i>Maximum two dwellings per lot.</i></p> <p>BUILDING HEIGHT <i>Minimum No of Storeys - 3</i> <i>Maximum building height - 14m to the roof ridge.</i></p> <p>SETBACKS <i>Front (street) min - 3.0m max - 3.5m</i> <i>Rear min - nil</i> <i>Side (at street frontage) min - nil max - nil</i></p> <p>ACCESS <i>All vehicular access shall be obtained via the rear right of way. Undercroft or basement parking permitted.</i></p>
 <p>SECTION</p>	<p>MISCELLANEOUS <i>Special corner treatment to Lot 120 is encouraged. Blank walls are not permitted. The wall should be detailed to provide visual interest and treated as a "front elevation" containing elements such as openings, recesses, balconies, awnings, canopies & windows. Solid fencing along this boundary will not be supported.</i></p> <p>NOTE: All building forms shown are indicative only and do not represent final outcome</p>
 <p>3D MODEL</p>	

WITTENOOM STREET LOTS 112-119	SITE SPECIFIC GUIDELINE 6
<p>PLAN</p>	<p>DEVELOPMENT POTENTIAL Maximum one dwelling per lot.</p> <p>BUILDING HEIGHT Minimum No. of storeys - 2 Maximum building height - 14m to roof ridge.</p> <p>SETBACKS Front (street) min - 3.0m max- 3.5m Rear min - nil Side(at street frontage) min - nil max-nil</p> <p>ACCESS All vehicular access shall be obtained via the rear right of way.</p> <p>MISCELLANEOUS Special corner treatment to Lot 112 & 119 is encouraged. Blank walls are not permitted. the wall should be detailed to provide visual interest and treated as a "front elevation" containing elements such as openings, recesses, balconies, awnings, canopies & windows. Solid fencing is not permitted</p> <p>Parking access to Lot 112 permitted only from rear boundary, not from 17.3m side boundary or from 6.37m truncation.</p> <p>Fences and walls may be permitted along Wittenoom St to a maximum height of 1.2m with a maximum of 50% solid.</p> <p>NOTE; All building forms shown are indicative only and do not represent final outcome</p>
<p>SECTION</p>	
<p>3D MODEL</p>	