



Planning Policy Manual – Part 2

**Planning Policies and Design Guidelines for Normalised
Redevelopment Areas**

Section 2.26
East Perth – Area 26
Haig Park



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1	11 March 2008	Adopted
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3	11 April 2017	Amended

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1.0 APPLICATION

The Haig Park subdivision is within the Constitution Street Precinct (Precinct EP2), as defined in the City of Perth Local Planning Scheme No. 26 (Normalised Redevelopment Areas) (herein called ‘the Scheme’). These Guidelines apply to Lots 1 - 69, inclusive as shown in Figure 1.

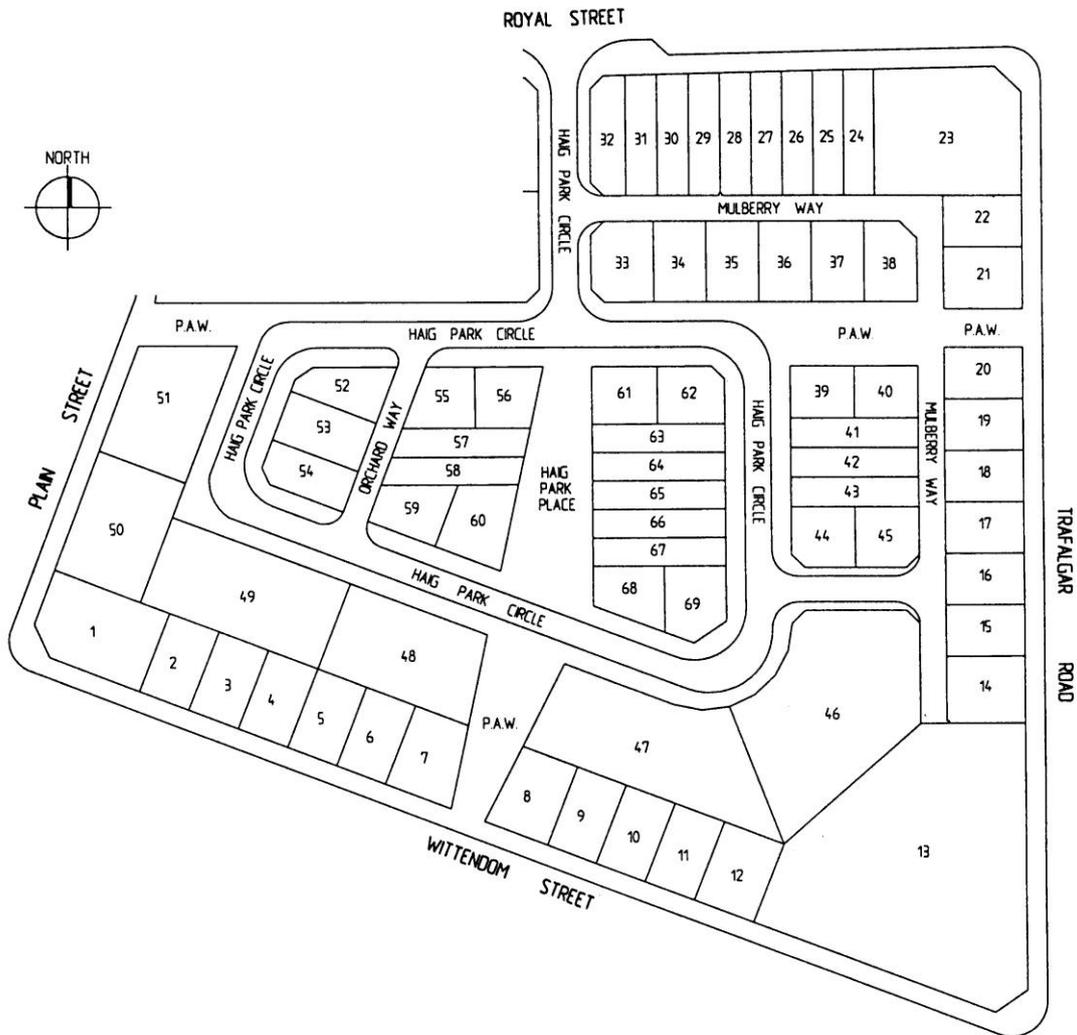


Figure1:- Haig Park Subdivision

2.0 RELATIONSHIP TO PLANNING SCHEME AND GENERAL POLICIES

These Design Guidelines are intended to supplement the provisions of the Scheme and should be read in conjunction with the Scheme, in particular those provisions relating to the Claisebrook Village Project Area, Precinct EP2: Constitution Street, and other Planning Policies.

The Deemed Provisions set out in the *Planning and Development (Local Planning Schemes) Regulations 2015* also form part of the Scheme Text.

The Scheme identifies Preferred, Contemplated and Prohibited uses for Precinct EP2: Constitution Street and stipulates maximum plot ratio. In determining any applications for development approval, the local government will have regard to these Design Guidelines, the Scheme and other Planning Policies.

3.0 ABOUT THESE GUIDELINES

These guidelines describe the character sought for this area and the design elements required to achieve the required character and form, with particular emphasis on the form and character required for the Lots fronting Royal Street and the 'Village Common' (Haig Park Place). It should be noted that whilst variations to some elements may be considered, the local government may refuse Development Approval for developments not considered to be in keeping with the intent of the guidelines. Variations to building heights and setbacks and building envelopes will not be contemplated.

4.0 DEVELOPMENT POTENTIAL

The following number of dwellings are permitted on each site:

Lot 1	Five (5) Dwellings
Lots 2-6 inclusive, 9-11 inclusive, 15-20 inclusive, 24-32 inclusive, 34-52 inclusive, 54-59 inclusive, and 61-69 inclusive	One (1) Dwelling each
Lots 7, 8, 12, 14, 21, 33, 53 and 60	Two (2) Dwellings each
Lot 13	Forty (40) Dwellings
Lot 23 and 49	Nine (9) Dwellings each
Lot 46	Fourteen (14) Dwellings
Lots 48, 50 and 51	Seven (7) Dwellings each
Lot 47	Eleven (11) Dwellings

5.0 SETBACKS

LOT	MIN	MAX	AVERAGE
Lots 1 & 13			
Street frontages and side	side 3m (with minor projections acceptable as shown on figure 2)	n/a	-
Rear	4m	-	n/a
Lots 2 - 12 inclusive			
Garage	Nil	Nil	-
Wittenoom Street	3m	n/a	-
Side	nil (to at least one boundary)	n/a	-
Rear	4m	-	n/a
Lots 14 - 22 inclusive			

Trafalgar Road	3m	3m	-
Side	nil (to at least one boundary)	n/a	-
Mulberry Way	4m (with minor projections as shown on figure 3)	n/a	-
Lot 23			
Trafalgar Road	3m (with minor projections as shown on figure 2)	-	-
Royal Street	4m	6m	-
Side	Nil	n/a	-
Rear	Nil	n/a	3m
Lots 24 - 32 inclusive			
Royal Street	6m	6m	-
Side	Nil (to at least one boundary)	n/a	-
Rear	Nil	-	-
Lots 33 – 38, 41 - 45 inclusive			
Front	3m	3m	-
Side	Nil (to at least one boundary)	n/a	-
Rear	Nil	n/a	-
Refer to figures 4 & 5 for private open space provisions to corner lots			
Lot 39			
Haig Park Circle	3m, nil to garage	n/a	
P.A.W.	3m	3m	
Side	Nil	Nil	
Rear	Nil	n/a	
Lot 40			
P.A.W.	3m	3m	
Side and Rear	Nil	Nil	
Mulberry Way	Nil	n/a	
Lots 46 - 49 inclusive			
Front and Side	3m (with minor projections acceptable as shown on figure 2)	n/a	-
Rear (Building)	4m	n/a	-
Rear (Basement)	No setback requirement	-	-
Lots 52 - 55 inclusive, 59, 62, 69			
Front	3m	n/a	
Side	Nil (to at least one boundary)	n/a	
Rear (Basement)	Nil	-	
Refer to figures 4 & 5 for private open space provisions to corner lots			
Lots 56 - 61 inclusive			
Front (Haig Park Place)	4m	4m	
Side	Nil (to at least one boundary)	n/a	
Haig Park Circle	3m (including garage/parking)	n/a	
Lots 57 and 58, and 63 - 67 inclusive			
Front (Haig Park Place)	6m	6m	
Side	Nil (to at least one boundary)	n/a	

Rear	Nil	n/a	
Lots 50 - 51 inclusive			
All Boundaries (Building)	3m (with minor projections acceptable as shown on figure 2)	n/a	-
South Boundary of Lot 50 (Basement)	Nil	n/a	-
All Other Boundaries (Basement)	3m	n/a	-
Lots 50 and 68			
Front (Haig Park Place)	4m	4m	-
Side	Nil (to at least one boundary)	n/a	-
Haig Park Circle	Nil	n/a	-

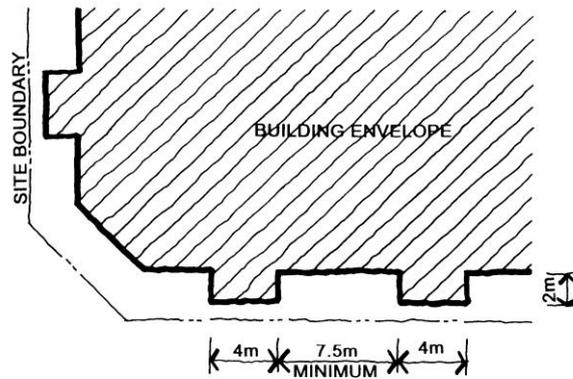


Figure 2:- Permitted Intrusion Into Setback (Lots 1, 13, 23, 46-51 inclusive)

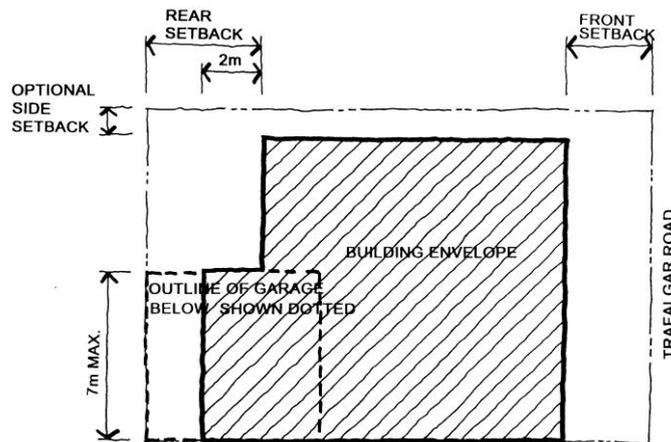


Figure 3:- Permitted Intrusion Into Setback (Lots 14-22 inclusive)

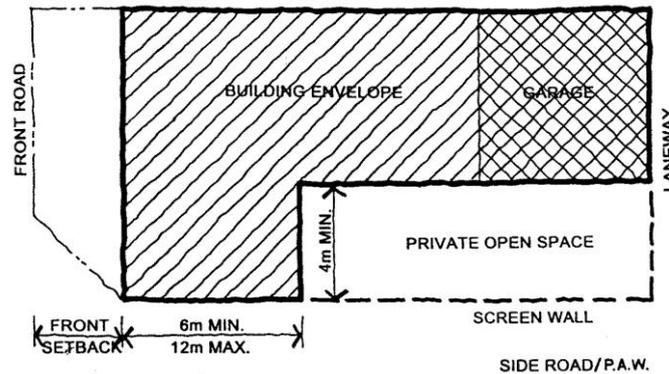


Figure 4: Private Open Space Location (Lots 38, 54) (Mirror for Lots 33, 52)

Note: Private Open Space to conform to specific Open Space requirements as set out in this document.

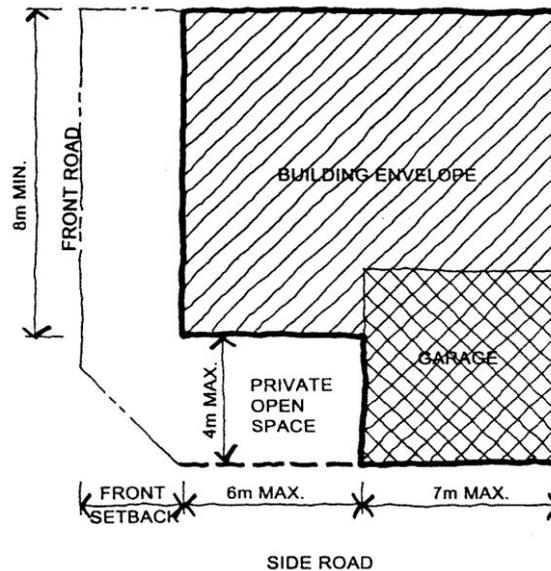


Figure 5: Private Open Space Provision (Lots 44, 45, 62) (Mirror for lot 69)

Note: Private Open Space to conform to specific Open Space requirements as set out in this document.

6.0 BUILDING ENVELOPES AND HEIGHT

- The building height and bulk is to be contained within building envelopes. Minor projections may be permitted for such items as chimneys, finials, pergolas, small portions of bay and dormer windows, and approved landmark features which in the opinion of the local government, contribute to the character and identity of the subdivision. It should be noted that:
 - Balconies, awnings and verandahs may project beyond the building envelope in accordance with the specific guidelines applicable to these features.
 - Heights of building envelopes are from the finished ground levels of streets, lanes or retaining walls at the perimeter of the lot as per the building envelope diagrams.
 - Building envelopes define the limits of building bulk. It is not intended that the building profiles should mirror the building envelope.
 - Building envelopes must be considered in conjunction with site coverage, open space and set back requirements.

- All plans submitted for approval are to be provided with site and finished floor levels relative to AHD (Australian Height Datum).

Building envelopes are depicted in Appendix 1 to these guidelines, as follows:

Lot 1

Refer to Building Envelope A

Lots 2 - 6 inclusive & 9 - 12 inclusive

Refer to Building Envelope B

Lots 7, 8

Refer to Building Envelope C

Lot 13

Refer to Building Envelope D

Lots 14 - 22 inclusive, 33 - 38 Inclusive, 52 - 54 inclusive

Refer to Building Envelope E

Lot 23

Refer to Building Envelope F

Lots 24 - 32 inclusive, 41 - 43 inclusive, 57, 58, 63 - 67 inclusive

Refer to Building Envelope G

Lots 39, 40, 44, 45 inclusive

Refer to Building Envelope H

Lots 55, 56, 59 -62 Inclusive, 68-69 inclusive

Refer to Building Envelop J

Lots 46-49 inclusive

Refer to Building Envelop K

Lots 40 & 51

Refer to Building Envelop L

7.0 ACCESS AND PARKING

- Minimise the extent of street and laneway frontage given over to vehicular access. Crossovers which are provided are to be used and no additional crossovers are to be provided to those lots.
- Vehicle parking transition ramps as required must be accommodated within the property boundary.
- Vehicle crossovers which are provided are to be used. No additional crossovers are to be provided to lots with existing crossovers.

- Where vehicle crossovers are not provided, they are to be constructed to the local government's specifications at the developer's expense.

Lots 7, 8, 12, 14, 21, 33, 53 and 60

- Although lots 7,8,12,14,21,33,53 and 60 are designated as duplex lots, only one single width vehicle crossover will be permitted for each dwelling. If developers wish to include two car spaces for each dwelling, then both spaces must be able to be served from the single crossover without further modification to the public domain, for example by providing the bays in a "tandem" configuration.

Lots 2 -12 inclusive and 14 - 22 Inclusive

- In order to achieve an attractive streetscape not dominated by garage doors, special attention should be paid to the form of garage doors to these lots. Timber tilt-up doors are suggested.

Lots 1 - 12 inclusive

- Principal pedestrian and vehicular access is to be from Wittenoorn Street.

Lot 13

- Principal pedestrian and vehicular access is to be from both Wittenoorn Street and Trafalgar Road.

Lots 14 - 22 inclusive

- Principal pedestrian access is to be from Trafalgar Road.
- Vehicular access is to be from Mulberry Way.

Lot 23

- Principal pedestrian access is to be from both Trafalgar Road and Royal Street.
- Vehicular access is to be from Mulberry Way.

Lots 24 - 32 inclusive

- Principal pedestrian access is to be from Royal Street.
- Vehicular access is to be from Mulberry Way.

Lots 33 - 38 inclusive, 40 - 43 inclusive, 45

- Principal pedestrian access is to be from Haig Park Circle or the P.A.W. which links to Macey Walk, as applicable.
- Vehicular access is to be from Mulberry Way.

Lot 39

- Principal pedestrian access is to be from Haig Park Circle and the P.A.W.
- Vehicular access is to be from Haig Park Circle.

Lot 44

- Principal pedestrian access is to be from Haig Park Circle.
- Vehicular access is to be from Mulberry Way.

Lot 46

- Principal pedestrian access is to be from Haig Park Circle.
- Vehicle access is to be from Mulberry Way.

Lot 47 - 51 inclusive

- Principal pedestrian and vehicular access is to be from Haig Park Circle.
- Pedestrian access from Plain Street is to be provided to lots 50 and 51.

Lot 52 - 54 inclusive

- Principal pedestrian access is to be from Haig Park Circle. Vehicular access is to be from Orchard Way.

Lot 55 and 59

- Principal pedestrian access is to be from Haig Park Circle. Vehicular access is to be from Orchard Way.

Lot 56 - 58 inclusive and 60

- Principal pedestrian access is to be from Haig Park Place. Vehicular access for Lot 56 and 60 is to be from Haig Park Circle. Vehicular access for Lot 57 and 58 is to be from Orchard Way.

Lots 61, 63 - 68 inclusive

- Principal pedestrian access is to be from Haig Park Place. Vehicular access is to be from Haig Park Circle.

Lots 62 and 69

- Principal pedestrian and vehicular access is to be from Haig Park Circle.
- Location of vehicular access close to the bend in the road should be avoided for safety reasons.

8.0 PRIVATE OPEN SPACE

- All private open space is to be of usable area and dimension. All dwellings other than apartments must have access to ground level private open space with a minimum dimension of 4m.
- The provision of additional private open space is encouraged. This may be provided as a balcony, deck or roof terrace,
- Where possible, private space is to be north facing and directly accessible from a living area within the dwelling.
- Roof terraces greater than 4m x 4m in dimension must have a pitched roof or shade structure covering the majority of the terrace and:
 - keep with the scale and elevation of the dwelling;
 - add visual interest;
 - assist with climate control.
- All private open space must be designed to minimise overlooking of adjoining properties, provide privacy to users and permit adjoining properties to share the available views.

- Refer to figures 4 and 5 for open space requirements for lots 33, 38, 39, 40, 44, 45, 52, 54, 56, 60 - 62, 68 and 69.

9.0 BUILDING DESIGN

9.1 Generally

- The minimum ground floor to first floor height is 3m.
- A minimum of two storeys (6m min.) is required.
- Building envelopes depict site specific detail regarding each site (point 16.0 and Appendix 1).
- Dwellings should be designed to suit a variety of household types.
- Main living spaces should be oriented around private open spaces which face north or north-east where possible.
- Consideration is to be given to the vertical and horizontal scale of developments to ensure appropriate formal modulation to respect the rhythm and grain of the development precinct. Building masses are to be broken down in scale to achieve a harmony and identity appropriate to the use and immediate content.
- Building forms should reflect an innovative and contemporary interpretation of Perth architecture utilising a rich palette of materials, (refer to 'Materials and colours' in this document).

9.2 Single Residential and Duplex Dwellings

(Lots 2 - 12 inclusive, 14 - 22 inclusive, 24 - 45 inclusive, 52 - 69 inclusive)

Generally buildings are to be two to three storeys. Usable roof space is actively encouraged in the form of a loft, attic or roof terrace. Basement structures are not permitted, except to lots 14 - 22 inclusive where basement parking is required.

9.3 Grouped Dwellings (Lots 13, 23, 46 - 51 inclusive)

Generally buildings are to be three to four storeys. Usable roof space is actively encouraged in the form of a loft, attic or roof terrace. Basement structures are permitted and encouraged.

9.4 Privacy

Small lot sizes and no minimum side setback requirements makes acoustical and visual privacy particularly important. A high standard of acoustic and visual privacy is expected with particular attention to:

- construction materials and techniques to reduce noise transmission between dwellings;
- site and dwelling layout to separate potentially conflicting activity areas;
- balcony and window location and design to avoid overlooking neighbouring windows and private open space;
- the creation of a safe environment by avoiding the formation of blind spaces which cannot be seen from inside the most used rooms.

9.5 Balconies

- The inclusion of balconies to take advantage of views is encouraged.
- Balconies can also assist the composition, articulation and visual interest of buildings. Balconies should be of usable dimensions with a minimum of 1.5m and wherever possible be enhanced by the provision of shading from summer sun.
- The use of balconies, decks and roof terraces as additional private open space is encouraged.
- Juliette balconies are permitted but will not be counted as private open space. A Juliette balcony is a small balcony with a maximum depth of 750mm.
- On lots having a front setback of 6m, balconies and decks may protrude into the front setback by 2m. On any lot, a balcony may project into any other required minimum setback other than nil setbacks by a maximum of 1m.
- A balcony must be set back a minimum of 1m from any adjoining lot. Any balcony set back less than 2m from an adjoining lot must incorporate an approved screen (minimum 1.8m high) on that side.

9.6 Balustrades

- Aluminium lace work or cast iron "lace" is not permitted.

9.7 Roof Form

- In view of the objective of achieving a cohesive built form within Haig Park a roof pitch of between 30 - 45 degrees is preferred, where visible from public areas, streets and laneways. A shallower pitch is acceptable for verandahs and canopies, penthouses, small areas of skillion roofs, and small areas of flat roofs where screened behind parapets.
- Use of dormer / attic windows, verandahs and awnings is encouraged in order to reduce the apparent scale of development, add visual interest and assist with climate control.
- The heights and levels of roof ridges, pitching points, gutters, eaves, parapets and floor levels must either match the adjoining property or vary by a minimum of 600mm.
- Roofs sharing the same pitching point as the adjoining property and the same plane should match the roof pitch of the adjoining property.

9.8 Articulation and Detailing

- The massing of buildings should respect the scale of the adjacent street or place and of their neighbours.
- Homes must address the primary street, except Lots 56 - 58 inclusive, 60, 61, 63 - 68 inclusive, which must address Haig Park Place.
- Buildings should enclose and define the public street space at an appropriate scale and provide a cohesive elevation in terms of setbacks, heights, rhythm of fenestration etc.
- Building design is to enhance individual dwelling identity for all housing types.
- Dwellings must present a 'front' to public spaces. The plan layout should enable casual surveillance of the Lot and surrounds from habitable rooms and balconies.
- Buildings are to provide a modulated street frontage with an articulated facade and use of elements such as verandahs, balconies, awnings, dormers and window projections to provide visual interest and establish a fine grained scale to development.

- Detailing is generally to provide visual richness and variety, interest and identity and assist in reducing the visual bulk of building mass.
- Corner buildings are to address both frontages, and special treatment is encouraged to mark corners and link streets. For example:
 - additional floor height;
 - distinct roof form;
 - articulation of corner wall elements;
 - variation in materials and colours;
 - special balcony treatments.
- Corner sites tend to be the most prominent. Buildings situated at the intersection of roads / lanes/ pedestrian accessways play a special role in defining the quality of the adjoining public spaces and landmarks which assist people's understanding of the local environment. Extra height at corners through the use of decorative parapets, tower elements or similar features helps to give prominence to these buildings and is therefore encouraged. In approved instances a 'tower element' may take the form of an additional storey if the local government is satisfied that it contributes to the landmark quality of the building.
- Garages, (particularly garage doors), carports and parking areas are to be detailed to reduce their visual impact and add interest at the pedestrian level.

9.9 Windows

- Overall window opening proportion must be vertical or square.
- Horizontally proportioned window openings are acceptable only if they are integral to the elevation and a minor element of the overall composition of the elevation.
- Door and window shutters if fitted must be operable.

9.10 Chimneys

- Chimneys are important elements in the overall streetscape and are encouraged. Chimneys should have cowls or contain some shape and form to the chimney capping.

10.0 MATERIALS AND COLOURS

10.1 Walls and Windows

The following construction materials are acceptable:

- Natural stone, including limestone.
- Rammed earth and rammed limestone.
- Render, coloured or paint finished in ochres, reds and limewash colours.
- Red or terracotta brick.
- Timber and lightweight cladding, paint finished or stained, is acceptable on upper floors and as a minor element at ground floor level.
- The well considered use of more than one material and use of more than one finish is encouraged as this adds variety and reduces perceived building bulk. Finishes that separate ground and upper floors or parts of upper floors are encouraged.

- Tilt-up or precast concrete construction will not be permitted for single residential houses with the exception of side parapet walls, but will be considered for multiple dwelling developments.
- Reflective glass or dark tinted glass is not permitted.

10.2 Colour

- Schemes involving well considered colours are encouraged as distinct from predominantly monochrome colour schemes.
- Trim colours which enhance and complement the wall and roof colours are preferred.
- The local government retains the right of final decision on the acceptability of a colour scheme.

10.3 Roofs and Shade Structure Covering

- Roof materials are to be selected from the following colour range: corrugated metal decking in Colorbond Off White, Merino, Wheat, Birch Grey, Saltbush, Beige, Mist Green or Gull Grey; tiles in autumn or terracotta tones; shingles in slate grey.
- A Zinalume finish is acceptable where it can be demonstrated that glare and reflectivity will not be a problem to neighbours and surrounding activities.
- Shadecloth or profiled clear acrylic roof sheeting is not permitted in locations visible from the street.

10.4 Blank Walls

- Blank walls abutting public spaces are to be kept to a minimum. Walls are to be detailed to provide visual interest and pedestrian scale.

11.0 LANDSCAPE

- In order to increase on-site water absorption and reduce run-off, permeable segmental paving is to be used for all hard surfaces.
- Where paving inside a Lot abuts and is visible from paved surfaces in streets or laneways, the new paving should be co-ordinated in colour, texture and scale with the surface in the public area.
- Select suitable tree species of mature size, form and scale to relate to, but not overwhelm the building mass.
- A landscape proposal plan showing general garden layout and location and species of any trees is to be submitted at the time of making a Building License application.
- Owners should note that trees used within public spaces such as the P.A.W.'s are likely to overhang property boundaries once they are mature. The local government will be responsible for cleaning leaves, etc., which fall within public areas only.

12.0 SERVICES

- A service easement area is defined for most lots and all meters and connections are located within it. All such fittings shall be integrated into the overall landscape and building design.
- All piped and wired services, air-conditioners, clothes drying areas and hot water storage tanks are to be concealed from street and public area view. Solar panels and solar water heaters may be visible where they are in the same plane as the roof and there is no alternative location that can provide a similar level of solar efficiency.

- A Stormwater Drainage Plan is to be provided with all building license applications.
- All Stormwater is to be discharged to the stormwater connection provided on site.
- Provide screened storage areas within property boundaries for domestic rubbish bins.

13.0 RETAINING WALLS AND FENCES

- Where fences join existing fences on the edge of Haig Park Place or Pedestrian Access Ways, the proposed fences should be similar in height (where they meet) and then proportionally stepped on the boundary either up or down in accordance with other requirements.
- Generally retaining walls are to be a maximum of 1.2m high above finished ground level, with a height not exceeding 0.6m preferred. However lots 14 - 22 inclusive may have retaining walls to a height of 2.1m high along Mulberry Way. Designs which minimise the height of retaining walls for dwellings are sought, particularly adjacent to P.A.W.'s where a close relationship between internal and external finished levels is desirable.
- Retaining walls and fences are to be limestone detailed to match the existing private wall to the edge of Haig Park Place. A standard fencing style of capped lime stone piers to 2m high, with a fence base course of limestone and infill wrought iron or metal railings to maximum 1.8m high is to be used. Refer Figure 6.
- Solid limestone panels of fencing are permitted adjacent to the nominated area of private open space. In such causes, the extent of solid fencing should not exceed 50% of the lot width for that particular dwelling.
- In order to avoid the duplication of piers at boundaries between adjoining properties, piers are to straddle the dividing boundary as shown in Figure 7.
- No fibre cement or similar style fencing is permitted. Dividing fences should be of a style reflecting and compatible with the overall subdivision style.
- Designs which minimise the height of retaining walls for dwellings are sought, particularly adjacent to P.A.W.'s where a close relationship between internal and external finished levels is desirable.
- On boundaries abutting Mulberry Way and the existing retaining wall on Lots 1 - 12, fence heights are measured from the top of the retaining walls. No fence base in addition to the retaining wall is permitted on boundaries abutting Mulberry Way (that is, fences are required to be open with infill wrought iron or metal railing to a maximum 1.8m high). On other boundaries heights are measured from the finished ground level of the adjacent street or footpath.
- Fence details and specifications are to form part of the application for Development Approval.

14.0 CROSSOVERS

- Vehicle crossovers which are provided are to be used. No additional crossovers are to be provided to lots with existing crossovers.
- Where vehicle crossovers are not provided, they are to be constructed to the local government's specifications at the developer's expense.

15.0 SPECIAL REQUIREMENTS FOR SPECIFIC LOTS

Lots 56, 60, 61 and 68

- The design of buildings on these lots must address both the Haig Park Place and Haig Park Circle. Building form and massing should provide book ends for the Lots which front Haig Park Place.

Lots 24 - 32 inclusive, 56 - 58 inclusive, 60, 61, 63 - 68 inclusive

The design of buildings on these lots is important and must be carefully considered. In particular, these buildings must follow the principles set out below:

1. Height of roof ridges, pitching points, gutters, eaves, parapets and floor levels

The heights and levels of these items must either match the adjoining property or vary by a minimum of 600mm.

2. Floor to floor height

The minimum ground floor to first floor height is 3m. A minimum of two storeys (6m) is required.

3. Roofs in same plane to match

Roofs sharing the same pitching point as the adjoining property and in the same plane should match the roof pitch of the adjoining property.

4. Balconies and decks

Balconies and decks may protrude into the front setback by 2m.

5. Window Opening Proportion

Overall window opening proportion must be vertical or square.

Horizontally proportioned window openings are acceptable only if they are integral to the elevation and a minor element of the overall composition of the elevation.

6. Chimneys

Chimneys are important elements in the overall streetscape and are encouraged. Chimneys should have cowls or contain some shape and form to the chimney capping.

7. Window Shutters

Door and window shutters if fitted must be operable.

8. Balustrades

Aluminium lace work or cast iron lace is not permitted.

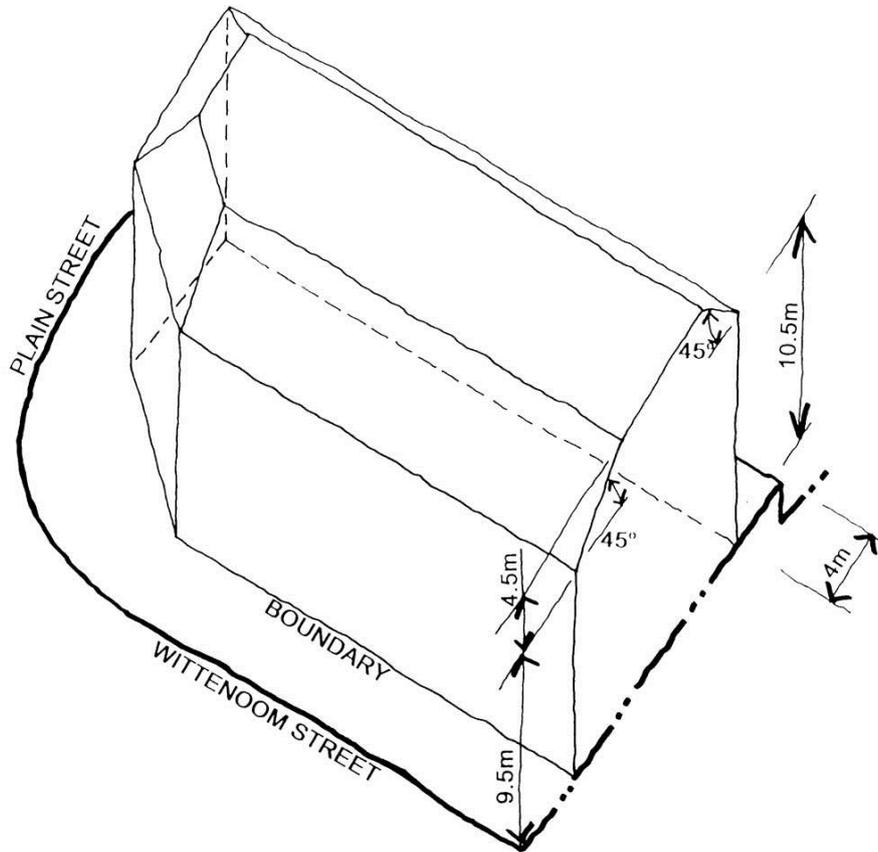
Lots 13, 23, 46 - 51 inclusive

- Unit design which maximises the view potential for all dwellings is encouraged.

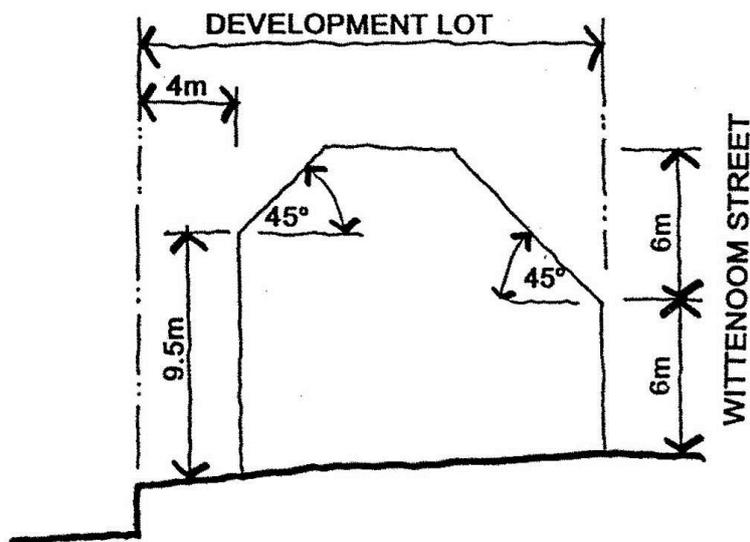
Lots 50 and 51

- The local government will consider compatible single storey building proposals on these lots to meet the specific needs of community housing groups.

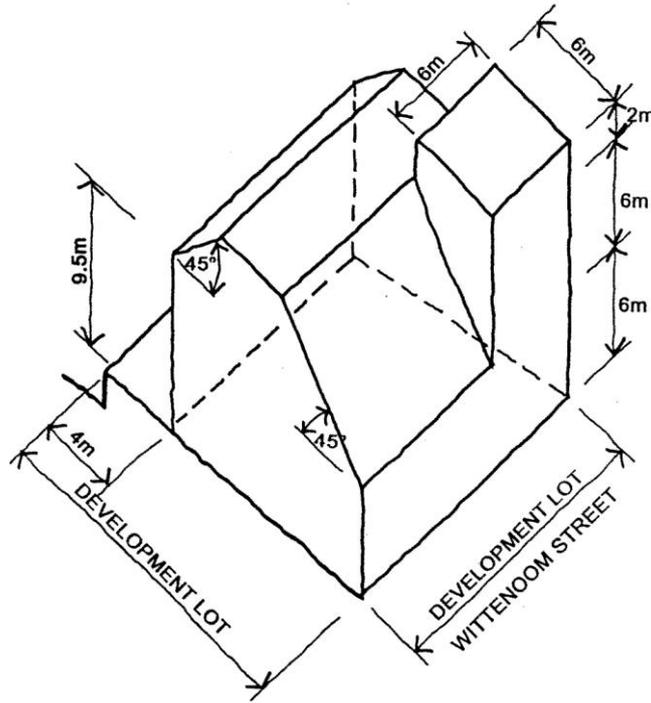
APPENDIX 1: BUILDING ENVELOPES FOR AREA 26



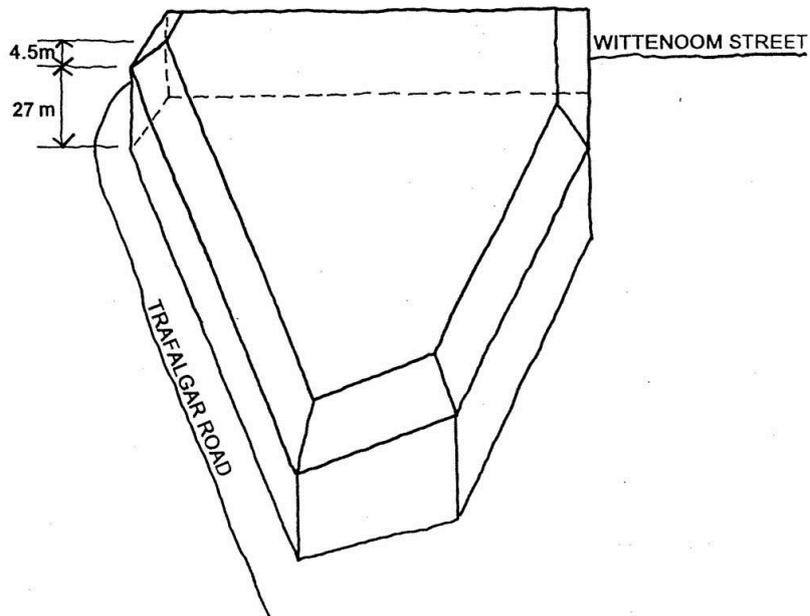
Envelope A: - Lot 1



Envelope B: - Lots 2-6 inclusive, 9-12 inclusive.



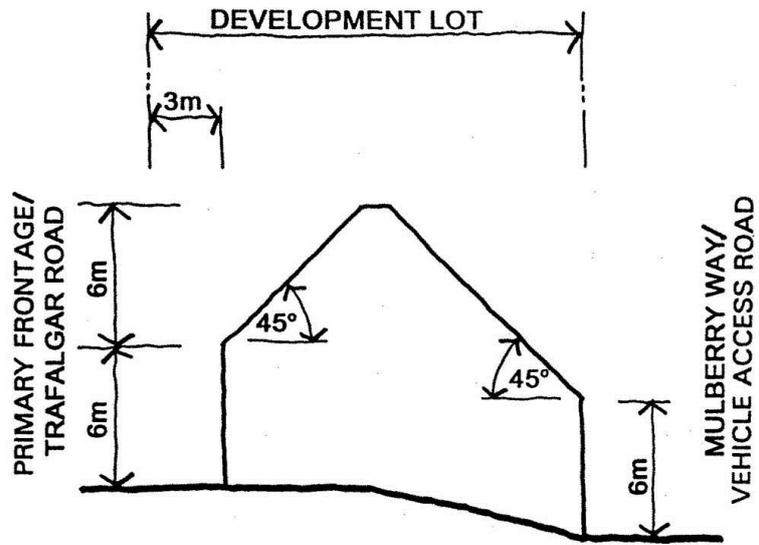
Envelope C: - Lot 7 (Mirror for Lot 8)



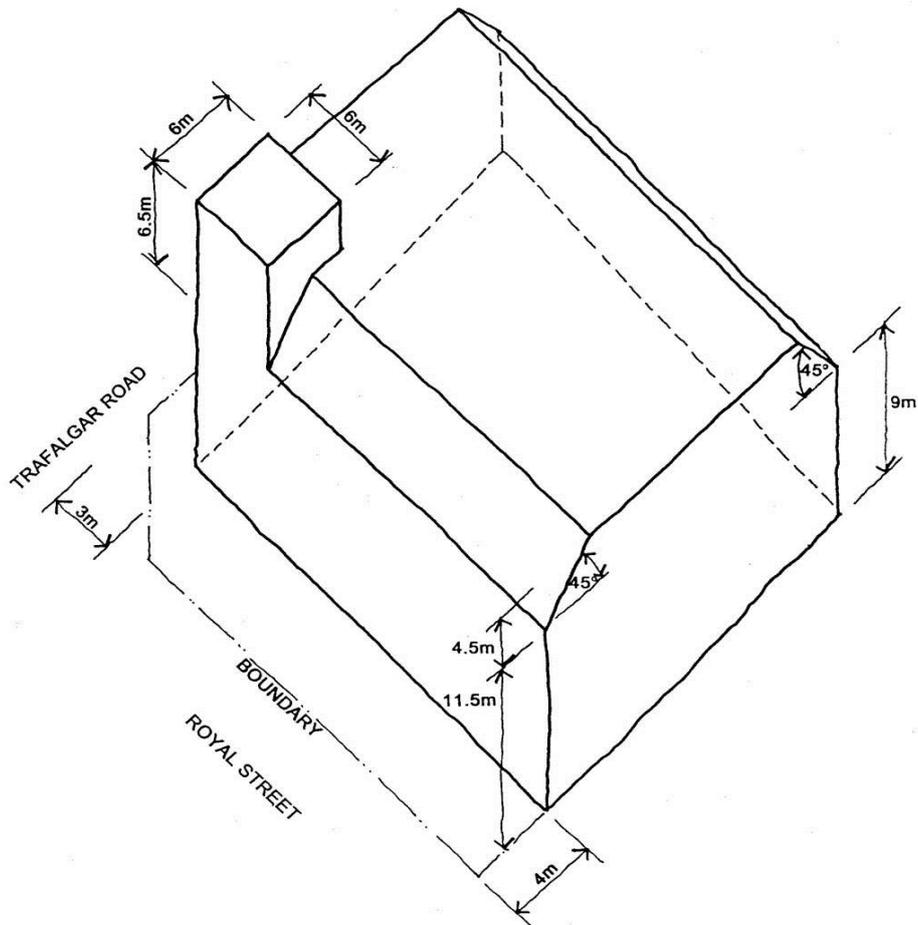
Envelope D: - Lot 13

Note: Top portion of building envelope at 45° to the vertical.

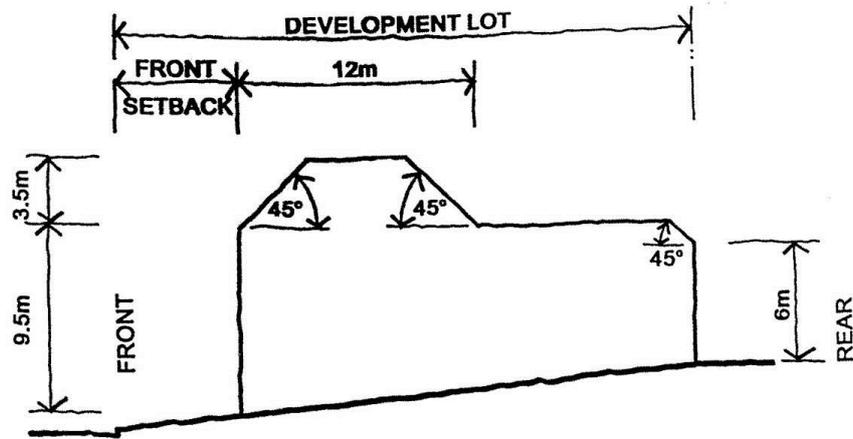
Note: All existing trees are to be retained. Trees damaged during construction are to be replaced with trees of the same species and maturity.



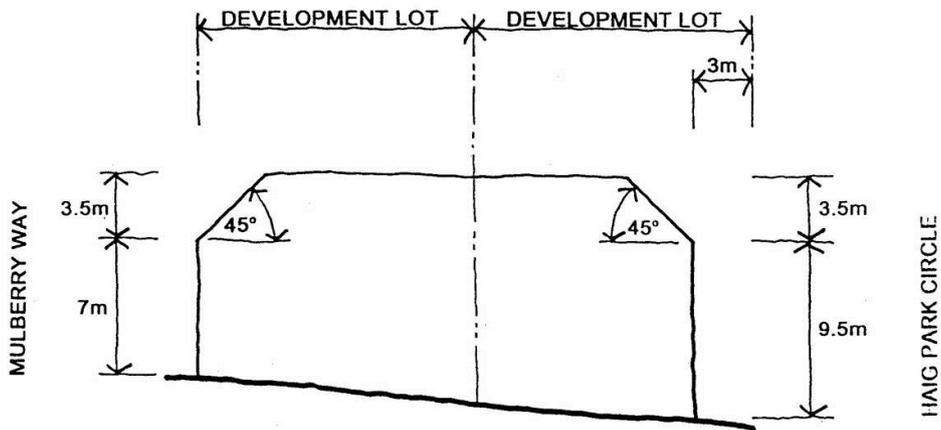
Envelope E: - Lots 14-22 inclusive, 33-38 inclusive and 52-54 inclusive.



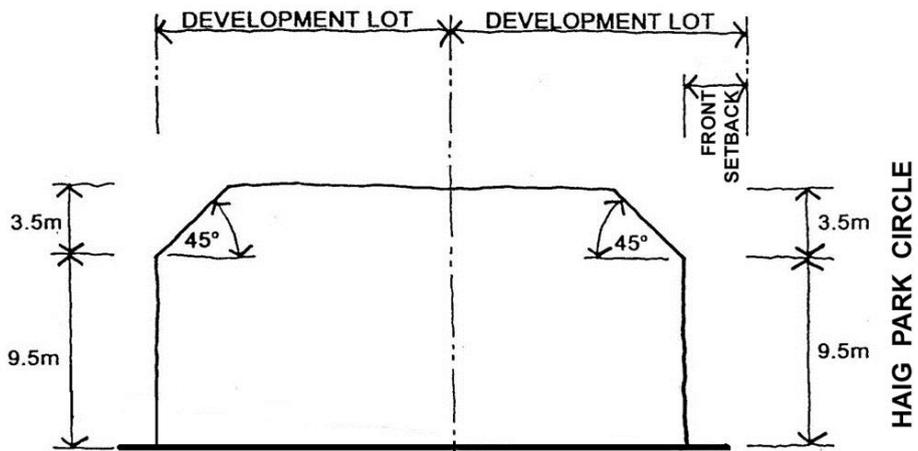
Envelope F: - Lot 23



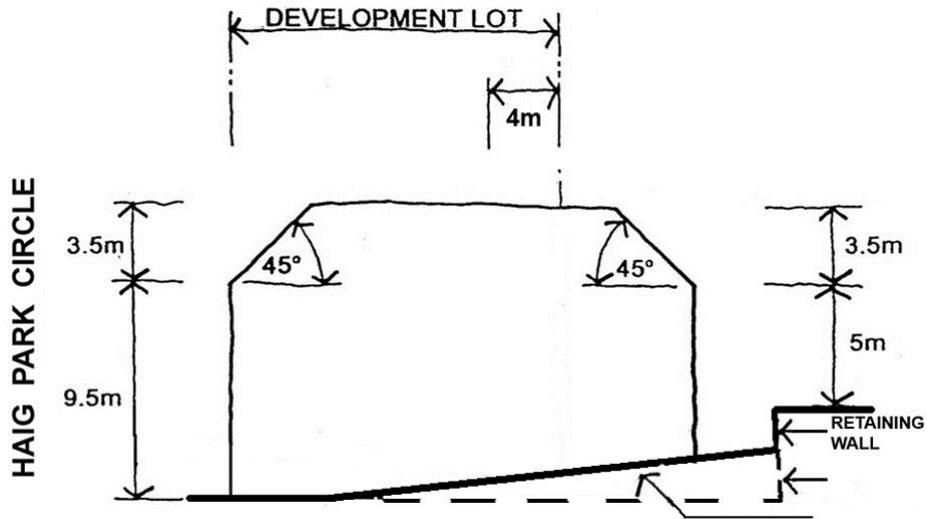
Envelope G: - Lots 24-32 inclusive, 41-43 inclusive, 57-58 inclusive and 63-67 inclusive.



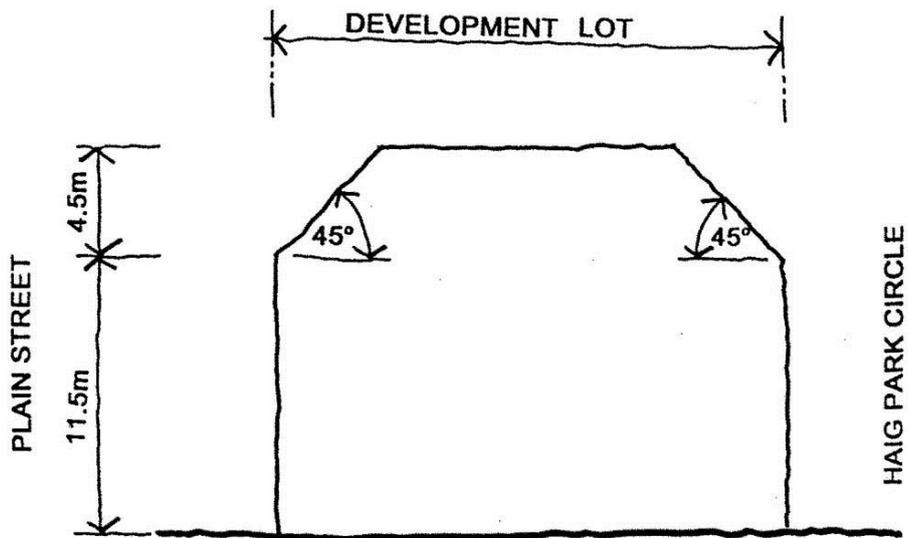
Envelope H: - Lots 39, 40, 44 and 45.



Envelope J: - Lots 55, 56, 59, 60, 61, 62, 68 and 69.



Envelope K: - Lots 46-49 inclusive.



Envelope L: - Lots 50 and 51.