

Planning Policy Manual – Part 2

**Planning Policies and Design Guidelines for Normalised
Redevelopment Areas**

Section 2.35
Northbridge – Area 35
Russell Square



Version #	Decision Reference	Synopsis
1	11 March 2008	Adopted
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1.0 INTRODUCTION

1.1 Application

These guidelines apply to the Russell Square Precinct NB1 (the Precinct) as defined in the City of Perth Local Planning Scheme No 26 (Normalised Redevelopment Areas) (herein called 'the Scheme') as shown in Figure 1.

1.2 Relationship to Planning Scheme and Planning Policies

These Design Guidelines are intended to supplement the provisions of the Scheme and should be read in conjunction with the Scheme, in particular those provisions relating to the New Northbridge Project Area, Precinct NB1: Russell Square and other Planning Policies.

The Deemed Provisions set out in the *Planning and Development (Local Planning Schemes) Regulations 2015* also form part of the Scheme Text.

The Scheme identifies Preferred, Contemplated and Prohibited uses for the Precinct and stipulates maximum plot ratio. In determining any application for development approval, the local government will have regard to these Design Guidelines, the Scheme and other Planning Policies.

1.3 Desired Character

The Precinct is closely allied with the boundaries of the adjacent Northbridge Precinct as identified in City Planning Scheme No. 2. The predominant building stock consists of single storey houses fronting Aberdeen Street. There are also a number of former warehouse/commercial buildings that front Newcastle Street.

Since the redevelopment of the local government's Depot site into the St. James residential estate, the focus for land in this area has changed significantly. There are now a number of major residential developments occurring in the vicinity, particularly around Russell Square. Russell Square has also been upgraded and is now used for a much wider array of community and recreational activities.

The Precinct is to continue to encourage a rich social and cultural diversity with an emphasis on residential development in single lot, multiple dwelling and mixed use buildings. Compatible non-residential uses including small local shops, community facilities, recreational uses, restaurants, coffee shops, medical consulting rooms, service industries and small showrooms and workshops are also encouraged to be developed.

It is intended that single residential dwellings within the Precinct should be representative of the traditional Northbridge character and inner city housing styles, as has been built in other areas of Northbridge. New dwellings are encouraged to have two storey elements, with similar volumes, proportions and details such as verandahs and fenestration patterns as to adjoining properties. These elements are however, encouraged to be expressed in a contemporary form.

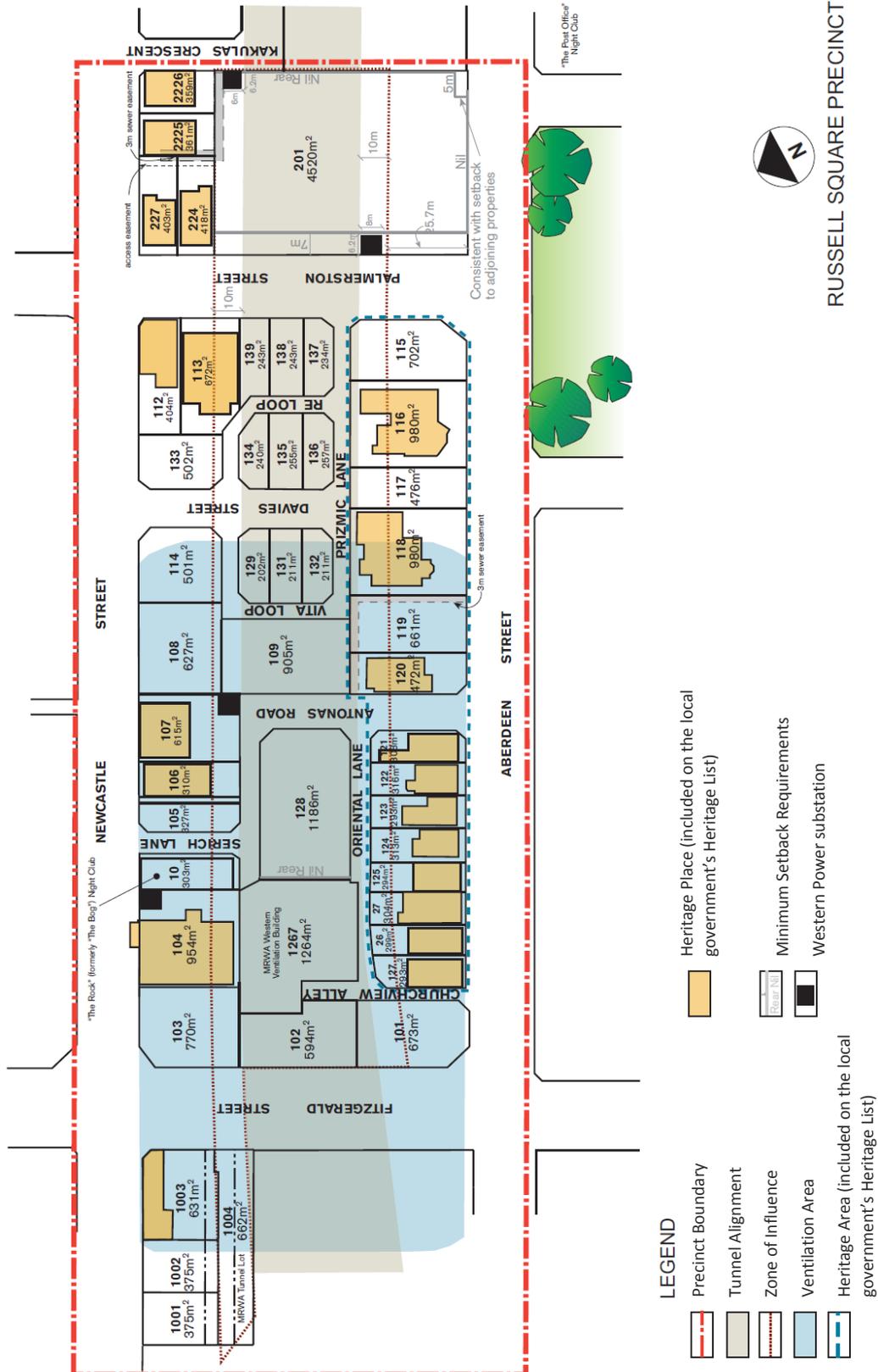
New mid block vehicle and pedestrian linkages are to be developed onto which two and three storey residential development is to be focused. Lots 115 and 201 are key sites opposite Russell Square and are to be developed from two to three storeys and two to four storeys respectively, to take advantage of views over the Square.

Heritage buildings located within the Precinct contribute to its character. The Precinct contains buildings included on the local government's Heritage List, the State Register of Heritage Places and within a State Heritage Precinct.

Development on infill sites adjacent to existing heritage buildings should acknowledge the scale and rhythm, proportions of fenestrations, height and building setbacks of the adjoining buildings or street, but should not attempt to mimic historical detail. Contemporary design responses as outlined in these guidelines are considered more appropriate for infill development.

New development is to be mixed use in nature with commercial on the lower floors and residential above. Landmark buildings at street intersections should act as gateways to the Precinct.

Figure 1: Russell Square Precinct Plan



Note: the information shown on these diagrams, such as lot boundaries, lot sizes and the Tunnel Zone of Influence, is indicative only and subject to change. Please refer to the relevant Certificates of Title for the most up-to-date information.

Table 1: Summary Information

LOT NO	PREFERRED LAND USE	MAX. NO. DWELLINGS PER LOT	MAX. SITE COVERAGE	S E T B A C K S			HEIGHT	TUNNEL ALIGNMENT	HERITAGE	OTHER
				FRONT MIN.	SIDE MIN.	REAR MIN.				
10	Commercial / Retail	N/A	100%	Nil	Nil	Nil	3 storeys up to 12m	See Note 1		
26	Mixed Use / Residential	1	70%	2.5m	See Sec. 4.1	2m	See Sec. 4.1	See Note 1	See Sec. 4.0	
27	Mixed Use / Residential	1	70%	2.5m	See Sec. 4.1	2m	See Sec. 4.1	See Note 1	See Sec. 4.0	
101	Mixed Use	N/A	80%		See Sec. 2.2		3 storeys up to 12m	See Note 1		
102	Mixed Use	N/A	80%		See Sec. 2.2		3 storeys up to 12m	See Note 1		
103	Commercial / Retail	N/A	100%	Nil	Nil	Nil	3 storeys up to 12m	See Note 1		
104	Commercial / Retail	N/A	100%	Nil	Nil	Nil	3 storeys up to 12m	See Note 1	See Sec. 4.0	See Note 2
105	Commercial / Retail	N/A	100%	Nil	Nil	Nil	3 storeys up to 12m	See Note 1		
106	Commercial / Retail	N/A	100%	Nil	Nil	Nil	See Sec. 2.2	See Note 1	See Sec. 4.0	
107	Commercial / Retail	N/A	100%	Nil	Nil	Nil	See Sec. 2.2	See Note 1	See Sec. 4.0	See Note 2
108	Commercial / Mixed Use	N/A	80%		See Sec 2.2		2 storeys up to 9m	See Note 1		

109	Mixed Use	N/A	See Sec. 5.1 for Design Guidelines and Performance Standards							
112	Mixed Use / Commercial	1	No additional development to site permitted							
113	Residential	N/A	No additional development to site permitted							
114	Commercial / Mixed Use	N/A	80%		See Sec 2.2		2 storeys up to 9m	See Note 1		
115	Mixed Use / Residential	N/A	70%	5m	See Sec 4.1	Nil	See Sec. 4.1	See Note 1	See Sec. 4.0	See Sec. 4.3 & 4.4
116	Mixed Use / Residential	N/A	No additional development to site permitted							
117	Mixed Use / Residential	N/A	70%	8m	See Sec 4.1	Nil	See Sec. 4.1	See Note 1	See Sec. 4.0	
118	Mixed Use / Residential	N/A	No additional development to site permitted							
119	Mixed Use / Residential	N/A	70%	8m	See Sec 4.1	See Sec 4.1	See Sec. 4.1	See Note 1	See Sec. 4.0	
120	Mixed Use / Residential	N/A	No additional development to site permitted							
121	Mixed Use / Residential	1	70%	2.5m	See Sec. 4.1	Nil	See Sec. 4.1	See Note 1	See Sec. 4.0	See Sec. 2.3
122	Mixed Use / Residential	1	70%	2.5m	See Sec. 4.1	Nil	See Sec. 4.1	See Note 1	See Sec. 4.0	See Sec. 2.3
123	Mixed Use / Residential	1	70%	2.5m	See Sec. 4.1	Nil	See Sec. 2.2	See Note 1	See Sec. 4.0	See Sec. 2.3
124	Mixed Use / Residential	1	70%	2.5m	See Sec. 4.1	Nil	See Sec. 4.1	See Note 1	See Sec. 4.0	See Sec. 2.3
125	Mixed Use / Residential	1	70%	2.5m	See Sec. 4.1	Nil	See Sec. 4.1	See Note 1	See Sec. 4.0	See Sec. 2.3
127	Mixed Use / Residential	1	70%	2.5m	See Sec. 4.1	Nil	See Sec. 2.2	See Note 1	See Sec. 4.0	
128	Mixed Use / Commercial /	N/A	70%	See Sec. 5.2 for Design Guidelines and Performance						

	Showroom			Standards and Section 2.3						
129	Residential	1	80%	2m	Nil	1m	2 storeys up to 9m	See Note 1		
131	Residential	1	80%	2m	Nil	1m	2 storeys up to 9m	See Note 1		
132	Residential	1	80%	2m	Nil	1m	2 storeys up to 9m	See Note 1		
133	Residential	N/A	80%	See Sec. 2.2			2 storeys up to 9m	See Note 1		
134	Residential	1	80%	2m	Nil	1m	2 storeys up to 9m	See Note 1		
135	Residential	1	80%	2m	Nil	1m	2 storeys up to 9m	See Note 1		
136	Residential	1	80%	2m	Nil	1m	2 storeys up to 9m	See Note 1		
137	Residential	1	80%	2m	Nil	1m	2 storeys up to 9m	See Note 1		
138	Residential	1	80%	2m	Nil	1m	2 storeys up to 9m	See Note 1		
139	Residential	1	80%	2m	Nil	1m	2 storeys up to 9m	See Note 1		
201	Mixed Use / Commercial / Retail Ground Floor	N/A	70%	See Sec. 5.3 for Design Guidelines and Performance Standards						
224	Mixed Use	1	70%	See Sec. 4.1			See Sec. 4.1		See Sec. 4.0	
227	Mixed use	1	70%	See Sec. 4.1			Nil	See Sec. 4.1		See Sec. 4.0
1001	Commercial	N/A	100%	Nil	Nil	Nil	2 storeys up to 9m	See Note 1		
1002	Commercial	N/A	100%	Nil	Nil	Nil	2 storeys up to 9m	See Note 1		
1003	Commercial	N/A	100%	Nil	Nil	Nil	2 storeys up to 9m	See Note 1	See Sec. 4.0	
1004	Tunnel Use	N/A	N/A	N/A			N/A			
1267	MRWA Site	N/A	N/A	N/A			N/A			
2225	Mixed Use	1	70%	See Sec. 4.1			See Sec.		See	

						4.1		Sec. 4.0	
2226	Mixed Use	1	70%	See Sec. 4.1	Nil	See Sec. 4.1		See Sec. 4.0	

Note 1: See section 4.13 of Planning Policy 1.2 New Northbridge Project Area.

Note 2: See section 4.15 of Planning Policy 1.2 New Northbridge Project Area.

Table 1 Definitions

Mixed Use Development:	Buildings that contain residential dwellings in conjunction with commercial and non-residential uses.
Building Height:	Building height is controlled by two measures. The maximum height limit for development (to the ridge) is indicated by the height given in metres, i.e. 9m. The maximum scale of development is indicated by the reference to storeys, i.e. 2 storeys.
Max. No. Dwellings:	The maximum dwelling yield has been calculated solely based on a function of the Residential Design Codes (State Planning Policy 3.1). For this reason, it should not be assumed that the maximum dwelling yield is achievable in all instances.

2.0 BUILDING DESIGN

2.1 Building Appearance and Streetscape

Building elevations within the Precinct should be articulated to provide visual interest and detail to the development. The street or ‘public face’ of the building should be detailed to provide visual richness and variety, highlight rhythms, reduce apparent bulk and enhance its individual identity. This can be achieved through the use of colour, texture and materials, surface modelling and the integration of art. The height of proposed development in relation to existing buildings plays an integral role in the establishment of consistent rhythm of the streetscape.

Elements such as awnings, balconies and windows are to be encouraged. The entrance to buildings should be clearly defined. Dwellings should be designed to encourage passive surveillance of the public realm from living areas and balconies. This enables ‘eyes on the street’, helping reduce the occurrence of antisocial behaviour.

Building materials have the potential to significantly impact upon the overall character of an area. It is important that the materials utilised within the Precinct reflect the desired character for the area outlined in Section 1.3. The local government encourages a mixture of building materials to be utilised within the Precinct that reflect and continue the established building materials utilised by the original buildings within the area. Materials include red brick, rendered construction, corrugated metal, terracotta, iron and steel roofing. Colour should be in-keeping with the style of the development and be used to accentuate features of the building.

2.2 Setbacks and Heights

Building setbacks and heights must be within the parameters detailed in Table 1 – Summary Information.

Front Setbacks

Where lots have more than one street frontage, the front setback shall be the street to which the shortest boundary adjoins (with the exception of Lot 201).

Side Setbacks

Where not specified in Table 1, side setbacks will be assessed with consideration being given to the following:

- compliance with solar access requirements; and
- impact upon the privacy of adjoining properties.

Development on terrace lots (Lots 129, 131, 132 and 134-139) is encouraged to be built from side boundary to side boundary (i.e. nil setback).

Rear Setbacks

Rear setbacks are specified in Table 1 and shown on Figure 1 where appropriate. Generally, a nil rear setback is permitted throughout the Precinct.

Building Height Limits

Building height limits on lots within the Precinct vary according to the particular lot. Generally, building heights throughout the Precinct are limited to two storeys up to 9m, and three storeys up to 12m.

2.3 Finished Floor Levels

Lots 121-125 and 128 must have a minimum finished floor level of 16.9m AHD at their boundaries with Oriental Lane.

3.0 CAR PARKING AND ACCESS

3.1 Vehicle Access Gates, Carports and Garages

Where vehicle access gates, carports or garages are required to be located at the rear of a lot, they must be set back one metre from the rear boundary with a 45 degree truncation from the structure to the boundary. Rooms or studios above the garage are actively encouraged to promote surveillance of the rear laneway. These rooms or studios may be cantilevered out to the boundary line. The floor level of the garage or carport (excluding grouped/multiple dwelling lots) must be within 200mm of the finished floor of the laneway at the boundary.

All vehicular access should be via rear lanes/roads with the exception of Lots 103, 104, 201, 224, 1001, 1002, 1003 and 2225.

3.2 Pedestrian Access

Development on Lots 101, 103, 105, 114, 115, 128, 133, 201 and 1003 should address both/all street frontages. Whilst the development should address all streets, the main pedestrian access should be from the following streets:

- Lots 103, 105, 114, 133 and 1003 – Newcastle Street;
- Lots 101, 115 and 201 – Aberdeen Street;
- Lot 128 – Antonas Road.

4.0 HERITAGE LISTED PROPERTIES

Heritage listed properties within the Precinct include:

- State Register of Heritage Places: Lots 112, 113 and 1003.
- State Heritage Precinct: Lots 26, 27, 115-125 and 127 (Aberdeen Street).

The above properties are afforded protection under the Heritage of Western Australia Act 1990. This means that all development proposals for these properties must be referred to the Heritage Council of Western Australia for advice prior to being determined and that advice must be complied with.

- The local government's List: Lots 26, 27, 104, 106, 107, 112, 113, 116, 118, 120-125, 127, 224, 227, 1003, 2225 and 2226.

4.1 Setbacks and Heights

Development on Lots 26, 27, 121-125, 127, 224, 227, 2225 and 2226 that either contain or adjoin buildings of heritage significance should aim to maintain the established streetscape in terms of building setbacks, existing building heights and presentation.

Front Setbacks

- Lot 115 – at least 5m.
- Lots 117 and 119 – at least 8m.

Side Setbacks

Side setbacks to Lots 115, 117 and 119 should be reflective of the side setbacks of adjoining properties.

Lot 119 must maintain a 3m setback to the eastern boundary to accommodate a sewer easement. The first floor of development may be cantilevered over the easement, whilst maintaining a side setback that is reflective of setbacks of adjoining properties.

Lot 2226 must maintain a 1.5m setback to the western boundary to accommodate a sewer easement. This easement must not be built on, but may be used for car parking.

Side setbacks for new development on lots containing existing buildings should maintain the setback established by that building.

Rear Setbacks

Lot 119 must maintain a 3m rear setback to accommodate a sewer easement. This easement must not be built on, but may be used for car parking.

Lot 224 must maintain a 3m rear setback to accommodate a vehicular access and sewer easement. This easement area must not be built on and must be kept clear to ensure access to Lots 224, 2225 and 2226 is maintained at all times.

Building Height Limits

Building height to Lots 115, 117 and 119 fronting Aberdeen Street are to reflect the existing height of adjoining heritage buildings when viewed from the street. Generally, this will be achieved through limiting building heights to two storeys up to 9m in height. In addition, infill development is encouraged to use the existing adjoining building height references (such as string coursings, window head/sill heights, etc.).

Additional development on lots containing existing buildings (Lots 106, 107, 121-125, 127, 224, 227, 2225 and 2226) shall be restricted to the rear of the building in order to maintain the rhythm of the

streetscape. Where additional development may be achieved it shall be limited to a height of two storeys up to 9m at the rear of the lot to protect the existing streetscape. Development to the rear of Lot 2225 adjoining Newcastle Street shall be limited in height to a single storey in order to maintain the existing streetscape.

Development along the eastern boundary of Lot 104 may have a maximum height of two storeys up to 9m.

4.2 Windows

Development on Lots 115, 117 and 119 should incorporate elements such as windows to encourage passive surveillance of the adjacent park land (Russell Square).

4.3 Corner Sites

The elevations of any building on Lots 115 and 225 should reinforce the corner which the developments address.

4.4 Fencing

Front fences to Lots 115-120 may be a maximum height of 1.8m and 75% visually permeable.

Fencing should be of a similar scale and design as exists currently.

Dividing fences within the front setback of the State Heritage Precinct (Aberdeen Street) are to be consistent with the front fencing requirements of the respective lot.

4.5 Vehicle Access Gates, Carports and Garages

Carports and garages are not permitted within the front setback of lots within the State Heritage Precinct (Aberdeen Street).

Vehicular access to Lots 224, 2225 and 2226 should be obtained via the right of carriageway over the rear of Lots 224 and 2225.

Vehicular access to Lots 26, 27, 115-125, 127 and 227 should be obtained via the roads/lanes adjoining the rear or side boundaries of the site.

4.6 Building Pad Level

Lot 115 requires a minimum building pad level of 17.0m AHD due to a trapped low drainage point at the intersection of Aberdeen and Palmerston Streets.

5.0 LOT SPECIFIC GUIDELINES

5.1 Lot 109 – Design Guidelines and Performance Standards

In addition to the information contained in Planning Policy 1.2 New Northbridge Project Area, the following specific information applies to development on Lot 109.

Preferred Land Use

The preferred land use for Lot 109 is mixed use.

Setbacks

Western – 1-2m.

Northern – Nil.

Southern – 1-2m for the first two storeys and 3m for third storey.

Eastern – Nil except where garaging is located on this boundary. The setback for the garage must be 1m.

Building Height

The maximum building height permitted on the site is three storeys up to 12m.

Access

Primary vehicular access must be obtained from the rear laneway. Primary pedestrian access must be obtained from Antonas Road.

Appearance

Development on Lot 109 should draw reference from the traditional Northbridge characteristics of the area. New built form should incorporate a contemporary interpretation of traditional elements such as volume, proportions and detail so as to be distinguishable from, and not mimic, existing surrounding buildings.

Sound Attenuation

Development fronting the western boundary must be suitably treated to minimise any adverse effect on amenity of the development.

Northbridge Tunnel Covenants and Easements Imposed by Main Roads

Planning Policy 1.2 New Northbridge Project Area details performance standards relating to development over the Northbridge Tunnel to ensure that the integrity of the tunnel is maintained. A Tunnel Impact Statement is required to be submitted with any development application for Lot 109.

5.2 Lot 128 – Design Guidelines and Performance Standards

In addition to the information contained in the Planning Policy 1.2 New Northbridge Project Area, the following specific information applies to development on Lot 128 (a sketch providing an example of indicative built form is contained in Section 6.0).

Preferred Land Use

The preferred land use for Lot 128 is mixed use on the eastern portion of the lot and commercial/showroom on the western portion of the lot.

Setbacks

- Eastern – 1-2m.
- Northern – Nil.
- Southern – 1-2m for the first two storeys and 3m for third storey.
- Western – Nil.

Building Height

The maximum building height permitted on the site is three storeys up to 12m.

Access

Primary vehicular access must be obtained from Serich Lane.

Appearance

Development on Lot 128 should draw reference from the traditional Northbridge characteristics of the area. New built form should incorporate a contemporary interpretation of traditional elements

such as volume, proportions and detail so as to be distinguishable from, and not mimic, existing surrounding buildings.

Sound Attenuation

Development fronting the northern boundary must be suitably treated to minimise any adverse effect on amenity of the development.

Northbridge Tunnel Covenants and Easements Imposed by Main Roads

Planning Policy 1.2 New Northbridge Project Area details performance standards relating to development over the Northbridge Tunnel to ensure that the integrity of the tunnel is maintained. A Tunnel Impact Statement is required to be submitted with any development application for Lot 128.

Fencing

The fence treatment of the secondary street frontages must maintain an interactive street frontage. Fences should be at least 75% visually permeable and should be in keeping with the appearance of the front fence. Solid blank fencing will not be supported.

Finished Floor Levels

Lot 128 must have a minimum finished floor level of 16.9m AHD at its boundary with Oriental Lane.

5.3 Lot 201 – Design Guidelines and Performance Standards

In addition to the information contained in the Planning Policy 1.2 New Northbridge Project Area, the following specific information applies to development on Lot 201 (a sketch providing an example of indicative built form is contained in Section 6.0).

Preferred Land Use

The preferred land use for Lot 201 is mixed use. However, the ground floor and first floor levels must contain commercial/retail uses to the entire Aberdeen Street frontage.

Setbacks

- Western – Minimum 7m to accommodate the existing Western Power easement (Palmerston Street).
- Southern – Nil to Aberdeen Street within 5m of the eastern boundary. The setback to Aberdeen Street within the 5m zone must be the same as the established building setback to the adjoining lot.
- Northern – 3m to north eastern portion of the boundary to accommodate sewer easement.
 - Remaining boundary may be a minimum nil setback.
- Eastern – Nil.

Building Height

The maximum building height permitted on the site is three storeys up to 12m with a 4 storey corner element to Aberdeen and Palmerston Streets. A maximum height limit of 2 storeys up to 9m is permitted within 5m of the northern and eastern boundaries.

Access

Primary vehicular access for Lot 201 should be obtained via Kakulas Crescent.

Secondary points of access may be permitted from Palmerston and Aberdeen Streets. The discretion of the local government shall apply.

Development on Lot 201 should address all street frontages. Whilst the development should address all streets, the main pedestrian access to any residential component of the development should be from Palmerston Street.

Appearance

Development on Lot 201 should draw reference from the traditional Northbridge characteristics of the area. New built form should incorporate a contemporary interpretation of traditional elements such as volume, proportions and detail so as to be distinguishable from, and not mimic, existing surrounding buildings.

Lot 201 should incorporate elements such as windows to encourage passive surveillance of the adjacent parkland (Russell Square).

Sound Attenuation and the Main Roads Ventilation Building

Development fronting Aberdeen Street must be suitably treated to minimise any adverse effect on amenity, particularly to proposed residential uses, and incorporate double glazing to windows.

In addition, building ventilation to the Aberdeen Street frontage will need to be addressed. Open windows to this frontage are not supported and alternative ventilation measures will need to be provided.

Northbridge Tunnel Covenants and Easements Imposed by Main Roads

Planning Policy 1.2 New Northbridge Project Area details performance standards relating to development over the Northbridge Tunnel to ensure that the integrity of the tunnel is maintained. A Tunnel Impact Statement is required to be submitted with any development application for Lot 201.

Western Power Sub-Station

Development of Lot 201 must incorporate a two hour fire rated district substation within the development complete with transformers and switchgear to Western Power requirements. The power supply to Lot 201 must originate from this new indoor sub-station.

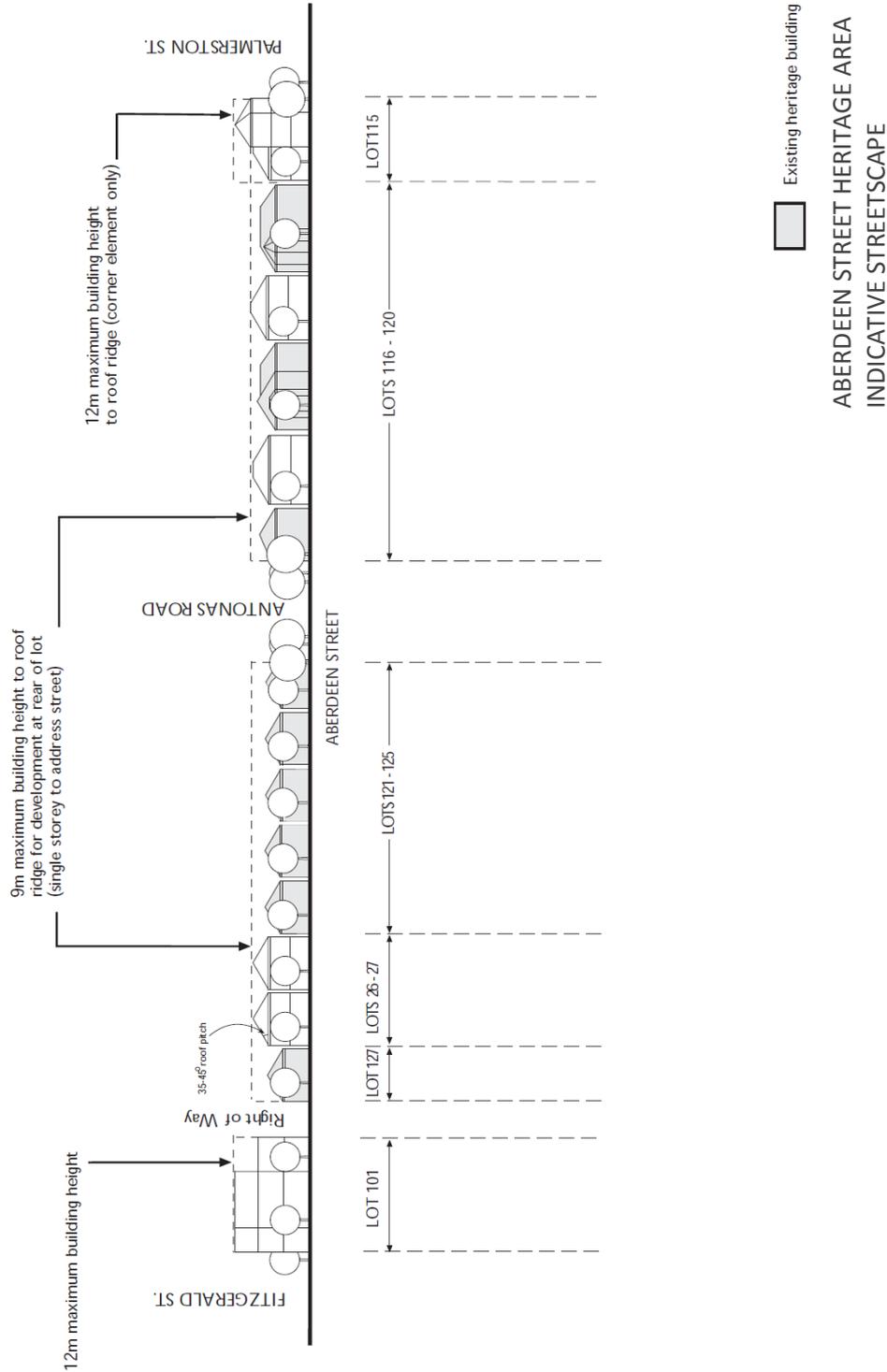
Sewer Easement

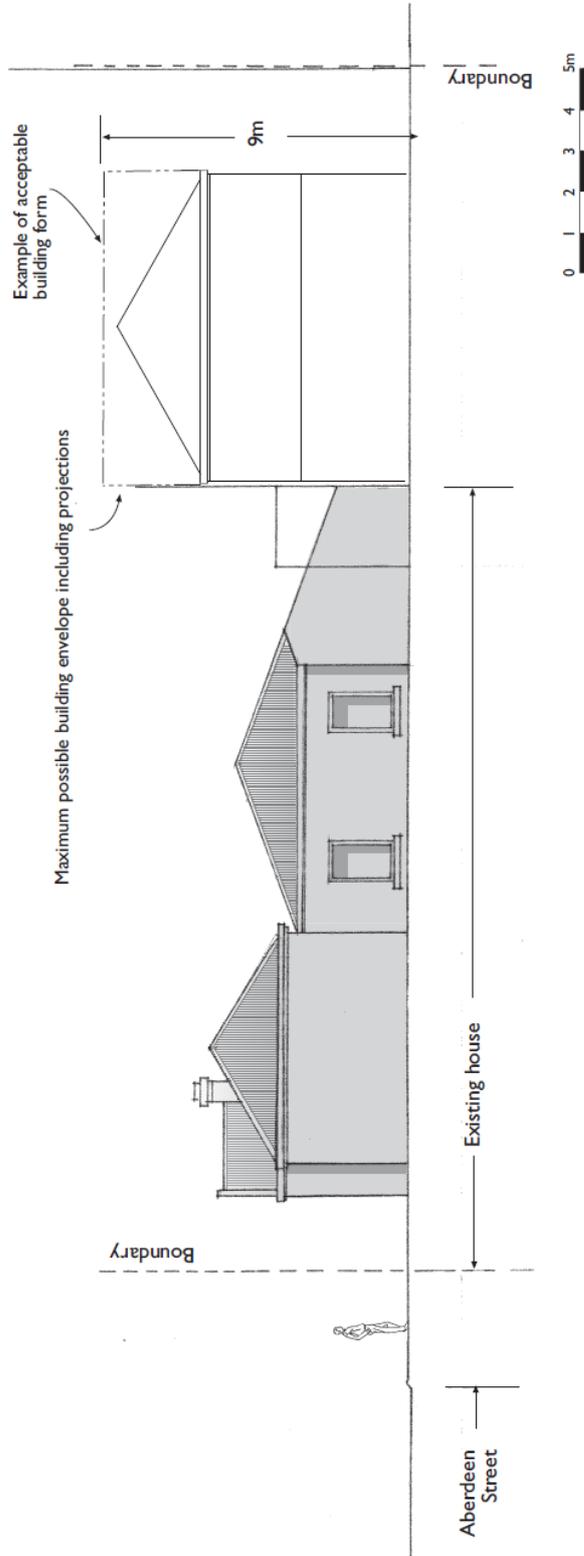
A setback of 3m must be maintained to the north eastern portion of the northern boundary of Lot 201 to accommodate a sewer easement. This easement must not be built on but may be used for car parking and access to the site.

Building Pad Level

Lot 201 should be designed with a minimum building pad level of 17.0m AHD in that portion of the lot south of Prizmic Lane due to a trapped low drainage point at the intersection of Aberdeen and Palmerston Streets.

6.0 URBAN DESIGN ASSESSMENT

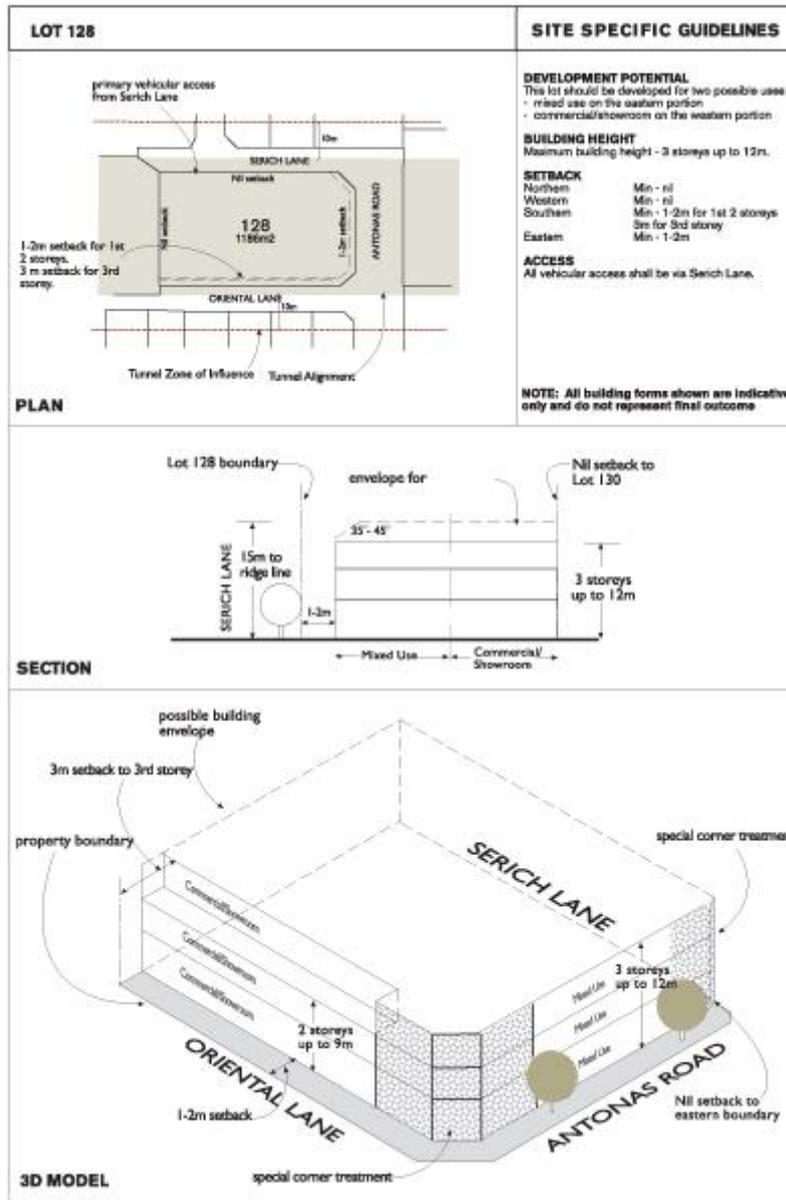




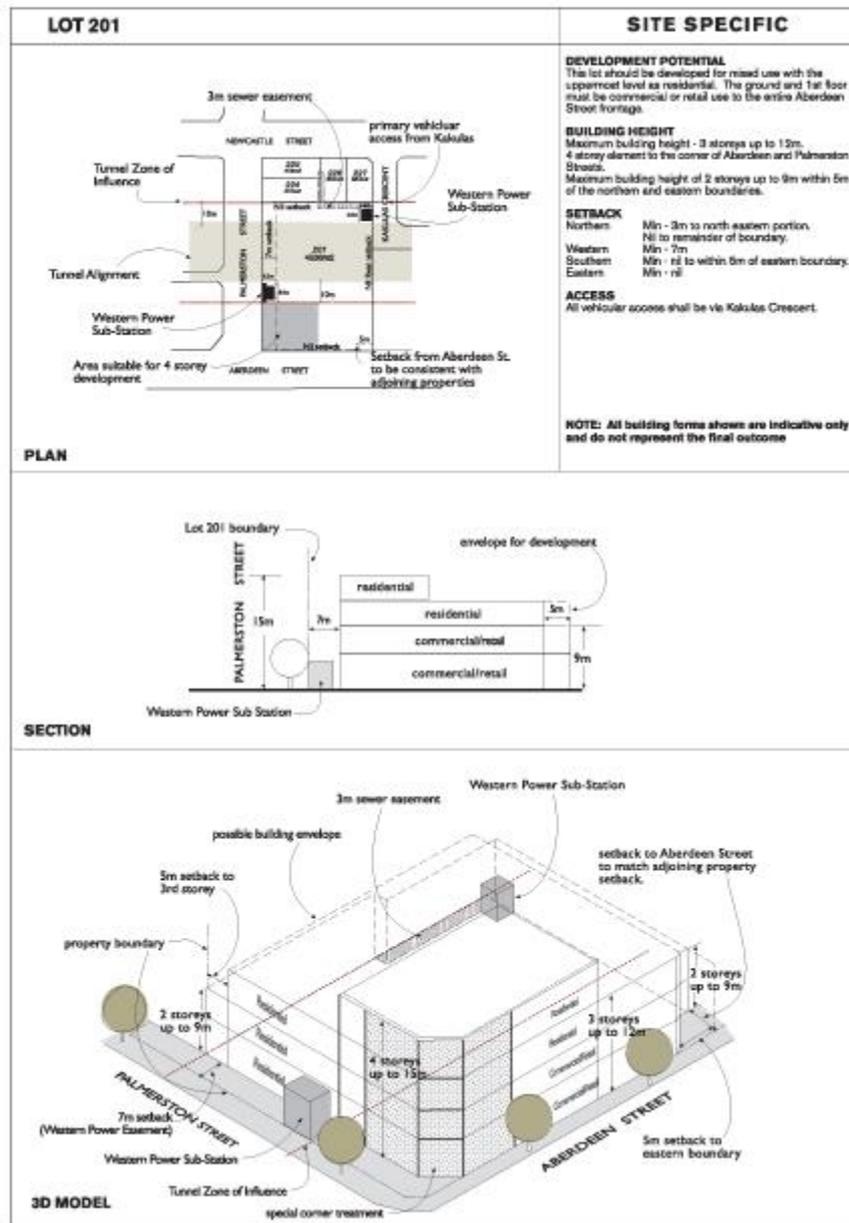
NOTE: Applicants are advised that additional development potential indicated is to be ancillary (eg. loft/studio) to the existing dwelling. It does not constitute the development of an additional dwelling on a separate lot.

INDICATIVE SIDE ELEVATION

Lots 26, 27, 121-125, 127



Note: the information shown on these diagrams, such as lot boundaries, lot sizes and the Tunnel Zone of Influence, is indicative only and subject to change. Please refer to the relevant Certificates of Title for the most up-to-date information.



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7.0 PRECINCT CHARACTER

7.1 Activity

The Precinct will be characterised by a rich social and cultural diversity with an emphasis on single lot, multiple dwelling and mixed use buildings.

Compatible non-residential uses including small shops, community facilities, recreational uses, restaurants, coffee shops, medical consulting rooms, service industry and small showrooms and workshops are also encouraged and will be considered on their merits in the context of their proposed location.

7.2 Movement

Movement through the Precinct is directed along the existing street network, with an emphasis on rear access where possible.

Two and three storey residential development is to be focused along new mid block vehicle and pedestrian linkages.

7.3 Landscaping

Newcastle Street has been upgraded with tree planting, verge improvements and underground power.

7.4 Building Design

Development should be representative of the traditional Northbridge character and inner city housing styles.

A mixture of building materials that provide a contemporary interpretation of the original building fabric within the Precinct is encouraged.

Building elevations should be articulated to provide visual interest and detail to the development.

Key sites opposite Russell Square should be designed to take advantage of views over the Square.

8.0 TUNNEL INFLUENCE AND EFFECT

