



City of Perth
City Planning Scheme
No. 2

Schedule 8

Special Control Area 11.0
225-239 St Georges Terrace (Bishops See)



Version #	Decision Reference	Synopsis
1	2 September 2008	Gazetted
2	24 February 2017	Amended

11.0 225-239 ST GEORGES TERRACE (BISHOPS SEE) SPECIAL CONTROL AREA

11.1 Special Control Area

The following provisions apply to the land marked as Figure 11 – 225-239 St Georges Terrace (Bishops See) Special Control Area.

11.2 Objectives

The objectives of the 225-239 St Georges Terrace (Bishops See) Special Control Area are:

- (a) the development of the Special Control Area as a whole in a coordinated manner;
- (b) the provision of pedestrian accessways to enable pedestrian movement through the Special Control Area;
- (c) the preservation of the significant improvements to the amenities and environment of the central area of the local government from the substantial commencement of earlier development;
- (d) the restoration and maintenance of the heritage buildings in the Special Control Area.

11.3 Plot Ratio

For the purpose of determining plot ratio the 225-239 St Georges Terrace (Bishops See) Special Control Area shall be treated as one site.

11.4 Car Parking

For the purpose of determining the maximum tenant parking allowance for any development on the subject land, Lots 55, 56, 57 and 58 shall be treated as one site and Lot 51 shall be treated as one site.

11.5 Public Access

For the purposes of determining effective pedestrian movement through the Special Control Area, a Public Access and Security Management Plan should be submitted. A Public Access and Security Management Plan should demonstrate how access to the pedestrian links will be controlled including the opening and closing times, and providing details of measures to ensure on-going public safety with reference to the local government's Safer Design Guidelines.

Nothing in this clause is to constitute or to be taken to constitute a dedication or an implied dedication to the public of a right to use any part of the land within the Special Control Area.

11.6 Amenity Improvements

All future development shall protect the following improvements to the amenities and environment:-

- (a) the colonnading abutting St Georges Terrace;
- (b) the restoration of Bishop's House and its gardens;
- (c) the restoration of St George's House;
- (d) the laying out of Parterre Gardens;
- (e) ways made for public access to and recreation in the Special Control Area.

11.7 Heritage Buildings

The buildings listed below shall be restored and maintained:

- Bishop's House and Gardens 78 Mounts Bay Road;
- St George's House 235-239 St Georges Terrace.

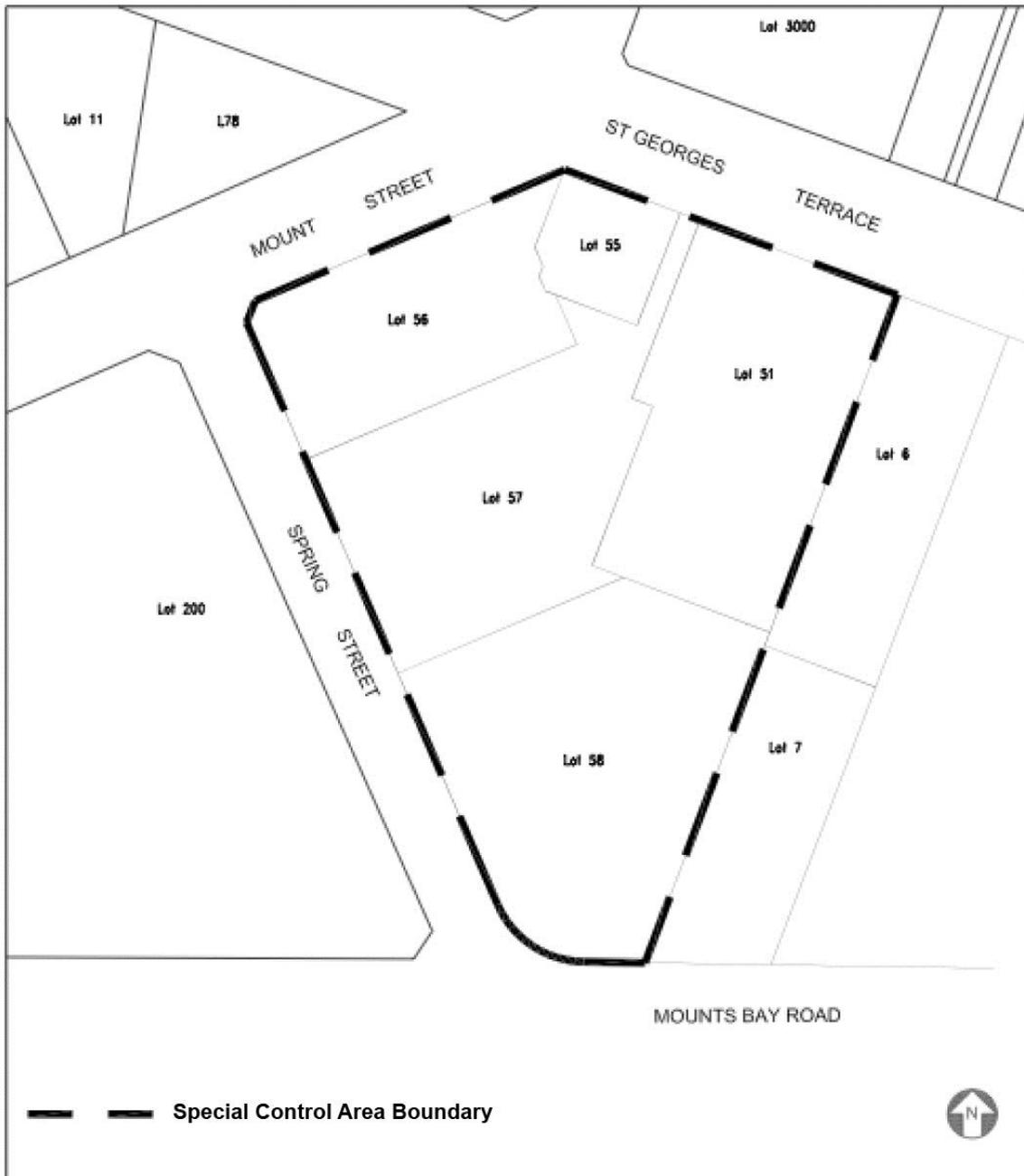


Figure 11 - 225-239 St Georges Terrace (Bishops See) Special Control Area